

**SUBDIVISION AND DEVELOPMENT APPEAL BOARD  
CITY OF ST. ALBERT**

5 St. Anne Street  
St. Albert, AB T8N 3Z9  
Email: sdabsubmissions@stalbert.ca  
Telephone: (780) 459-1500

HEARING DATE: May 14, 2025  
FILE NO.: LEG00977

**Notice of Decision of Subdivision and Development Appeal Board**

**INTRODUCTION**

- [1] On May 14, 2025, the Development Authority of the City of St. Albert (the "Development Authority") refused a Development Permit application to construct a lottery home/raffle at 41 Eldridge Point, St. Albert and legally described as PLAN 2422069; BLOCK 5; LOT 5 (the "Lands"). The applicant for the Development Permit was Adrianna Chiumento of Veneto Homes (the "Applicant").
- [2] Adrianna Chiumento filed an Appeal from the development permit refusal on April 30, 2025.
- [3] The Subdivision and Development Appeal Board (the "Board") held the appeal hearing on May 14, 2025, in person.

**PRELIMINARY MATTERS**

**A. Board Members**

- [4] The Chair confirmed from all parties in attendance that there was no opposition to the composition of the Board hearing the appeal. No one in attendance objected to the members of the Board hearing the appeal.

## **B. Exhibits**

[5] The Chair confirmed that everyone in attendance had the full hearing package prepared for the hearing. No additional materials were submitted.

## **C. Miscellaneous**

[6] There was no request for an adjournment of the hearing.

[7] There were no objections to the proposed hearing process.

## **DECISION OF THE SUBDIVISION AND DEVELOPMENT APPEAL BOARD**

[8] The Board allows the Appeal and grants the proposed variance on the conditions detailed in the Development Authority's materials.

## **SUMMARY OF HEARING**

[9] The following is a brief summary of the oral and written evidence and arguments submitted to the Board. At the beginning of the hearing, the Board indicated that it had reviewed all the written materials and submissions filed in advance of the hearing.

## **Development Authority**

[10] The Development Authority stated the permit is for a discretionary use in a Low-Density residential District. Specifically, the applicant sought to construct a "residential sales centre". That term is defined by the Land Use Bylaw 18/2024 as a dwelling unit or temporary building that is used to exhibit dwelling units for sale, rent or raffle. A raffle home is said to be a typical use. Section 5.2 of the LUB details requirements for permitted and discretionary uses.

The Development Authority denied the application because the proposed structure would cover 42.76% of the lot, whereas the maximum allowed coverage is 40.0%. The excess coverage amounts to 14.44 square meters or 155.43 square feet.

The development Authority offered no opinion as to the worthiness of the Application, but specified the conditions which should be imposed upon the Applicant in the event her application is allowed.

### **Applicant/Appellant**

[11]The Applicant stated that the drawings for the structure were done relying upon the City of Edmonton lot coverage maximum of 45%. It was only after the drawing were submitted that the mistake was discovered. The Applicant advised that while the plans could be changed, the error was so small and the plan so worthy that she would prefer not to go to the time, expense and delay of modifying the plan. The applicant took no issue with the conditions required by the Development Authority, should the Application be allowed.

### **FINDINGS OF FACT**

[12]The Lands are legally described as PLAN 2422069; BLOCK 5; LOT 5.

[13]The Appeal was filed on April 30, 2025.

### **REASONS**

#### **Affected Persons**

[14]The first question the Board must determine is whether those individuals who made written submissions and appeared before the Board are affected persons.

[15]The Applicant was the only affected person to appear, despite notifying all landowners within 30 metres of the subject property.

## Jurisdiction

*[16]The Board's jurisdiction is found in s. 687(3) of the MGA.*

**687(3)** *In determining an appeal, the subdivision and development appeal board*

*...*

- (a.1) must comply with any applicable land use policies;*
- (a.2) subject to section 638, must comply with any applicable statutory plans;*
- (a.3) subject to clause (a.4) and (d), must comply with any land use bylaw in effect;*
- (a.4) must comply with the applicable requirements of the regulations under the Gaming, Liquor and Cannabis Act respecting the location of premises described in a cannabis licence and distances between those premises and other premises;*
- (b) must have regard to but is not bound by the subdivision and development regulations;*
- (c) may confirm, revoke or vary the order, decision or development permit or any condition attached to any of them or make or substitute an order, decision or permit of its own;*
- (d) may make an order or decision or issue or confirm the issue of a development permit even though the proposed development does not comply with the land use bylaw if, in its opinion,*
  - (i) the proposed development would not*
    - (A) unduly interfere with the amenities of the neighbourhood, or*
    - (B) materially interfere with or affect the use, enjoyment or value of neighbouring parcels of land,*
  - and*
  - (ii) the proposed development conforms with the use prescribed for that land or building in the land use bylaw.*

[17] In making this decision, the Board has examined the provisions of the MDP and the LUB and has considered the oral and written submissions made by and on behalf of the Applicant and the Development Authority.

### **Issues to be Decided**

[18] The Board must determine the following issues:

- a) What are the amenities of the neighbourhood?
- b) Does the proposed development unduly interfere with those amenities?
- c) What is the expected use, value or enjoyment of the neighbouring lands?
- d) Will the proposed development interfere with the use, value or enjoyment of the neighbouring lands in a material way?

### **Analysis**

a) Amenities

This is a new neighbourhood. All lots are owned by the same land developer, including the lot in question. We were advised that there are a couple of other homes under construction in the neighbourhood, but there is no "neighbourhood" as yet. Therefore, the amenities of the neighbourhood are not yet defined beyond what one would expect of a low density residential district. In that regard, we would expect a quieter community with children and associated outdoor activities and social gatherings.

b) Interference

While "unduly" is not defined in LUB, we take that word to require context and degree of significance. Presently there is no interference as there is no neighbourhood. However, as time goes on, there will be a neighbourhood as we have envisaged. However, those amenities are not likely to have been established before this structure is built, won and occupied. Therefore, any

interference will be to the amenities of the evolving neighbourhood. We don't see the pedestrian and vehicular traffic associated with this development as likely to increase because of the additional proposed coverage. We don't see the expected traffic to see the home as likely to be as disruptive as the traffic and processes involved in the construction of the other homes in the neighbourhood.

c) Use, Value and Enjoyment

In our view, our characterization of amenities in this neighbourhood captures use, value and enjoyment.

d) Materially Influencing

As we have said, there may be some interference with the use and enjoyment of the neighbourhood because of increased traffic to the proposed development but it cannot be said that the additional lot coverage would lead to any significant increase in traffic.

## Conclusion

[19] For the above reasons, the Board finds that there is no real interference with the amenities of the neighbourhood, and therefore no undue interference. The Board also finds that the influence on the use, value and enjoyment of the other properties in the neighbourhood is not material.

[20] Issued this 17th day of May, 2025 for the City of St. Albert Subdivision and Development Appeal Board.



[terry clackson \(May 20, 2025 11:39 MDT\)](#)

---

Terry Clackson, Vice-Chair  
SUBDIVISION AND DEVELOPMENT APPEAL BOARD

*This decision may be appealed to the Court of Appeal of Alberta on a question of law or jurisdiction, pursuant to s. 688 of the Municipal Government Act, RSA 2000, c M-26.*

**APPENDIX "A"**  
**BOARD MEMBERS**

**MEMBERS**

---

1. Bill Newton
2. Feinan Long
3. Garry Rorke
4. Marcel LeBlanc
5. Terry Clackson – Vice Chair

**APPENDIX "B"**  
**REPRESENTATIONS**

**PERSONS APPEARING**

---

1. Adrianna Chiumento / Veneto Homes

**APPENDIX "C"**  
**DOCUMENTS RECEIVED AND CONSIDERED BY THE SDAB:**

<b>Agenda Package</b>			
	Description	Date	Pages
1.	Development Officer Report	May 8, 2025	Page 3 - 5
2.	Appellant Appeal Form	May 8, 2025	Page 6
3.	Appellant Supporting Material	May 8, 2025	Page 7 – 25
4.	Development Permit Decision	May 8, 2025	Page 26
5.	Radius Map & Address Labels	May 8, 2025	Page 27 - 28



<b>Documents Received at the Hearing</b>			
	Description	Date	Pages
1.	Development Officer PowerPoint Presentation	May 14, 2025	Page 38-42



**SUBDIVISION AND DEVELOPMENT  
APPEAL BOARD**

DATE: **Wednesday, May 14, 2025**  
TIME: **6:00 p.m.**  
PLACE: Council Gallery, 3<sup>rd</sup> flr,  
St. Albert Place  
FILE: B02

**AGENDA**

---

1. **Adoption of Agenda**
2. **Radius Notifications**
3. **Appeal**

**a) 41 Eldridge Point, St. Albert**

The Appellant is appealing a decision of the Development Officer in refusing a Development Permit application to construct a lottery home.

4. **Adjournment**

## TABLE OF CONTENTS

### **41 Eldridge Point, St. Albert**

1. Att 1 - Development Officer Report .....	page 3 - 5
2. Att 2 - Appellant Appeal Form .....	page 6
3. Att 3 - Appellant Supporting Material .....	page 7 - 25
4. Att 4 - Development Permit Decision .....	page 26
5. Att 5 – Radius Map & Address Labels .....	page 27 - 28

## **SUBDIVISION AND DEVELOPMENT APPEAL BOARD**

File: 5075.41

May 07, 2025

APPELLANT: Veneto Homes

MUNICIPAL ADDRESS(s): 41 Eldridge Point

LEGAL DESCRIPTION: LOT 5; BLK 5; PLAN 2422069

LAND USE CLASSIFICATION: Low Density Residential (LDR)

DATE OF HEARING: May 14, 2025

PROPOSED DEVELOPMENT: Residential Sales Centre – Raffle Home

The appellant, Veneto Homes, is appealing a refusal decision made by the Development Authority regarding a Development Permit application for a single-family home, 'Residential sales centre' (Show Home/Raffle Home for Big Brothers Big Sisters). The property is located in a low-density residential (LDR) district. In the LDR district, a 'residential sales centre' use is a discretionary use. A discretionary use permit is subject to mandatory notification to adjacent properties with a 30m radius who have the right to file an appeal against the issuance of the permit within 21-days of receipt of notice. Pending the appeal period and barring an appeal the permit will be deemed valid.

'Residential sales centre' is defined as "means a dwelling unit or temporary building that is used to exhibit dwelling units for sale, rent, or raffle. Typical uses include show or raffle homes"

In accordance with Section 5.2(7)(a) of Land Use Bylaw 18/2024 the maximum lot coverage for a single-family home dwelling unit on this lot is 40%. The dwelling is proposed with a lot coverage of 42.76%. In accordance with Section 2.15(5) of Land Use Bylaw 18/2024, the Development Officer cannot vary lot coverage.

Maximum lot coverage: 40%

Proposed lot coverage: 42.76

Variance required: 2.76% or 14.44 sq. metres or 155.43 square feet

If the Board supports the appeal the following conditions are requested on the decision:

1. Development Permit approval is issued for the construction of a single-detached dwelling with attached garage, deck and basement development, issued in accordance with the provisions of Land Use Bylaw 9/2005. The lot coverage is approved at 42.76% in accordance with the Subdivision and Development Appeal decision. The permit is subject to mandatory notification as per Section 2.14 of Land Use Bylaw 18/2024.
2. No portion of a fireplace chase or cantilevered section including eaves shall project more than 0.6m into a required sideyard.
3. The finished floor of the main level shall not be located more than 2.0m above the finished grade.
4. The dwelling height shall not exceed 11.0m.
5. Any changes in design, elevation or site plan configuration shall first be submitted for review by the Development Officer and any such changes shall not be undertaken until written authorization is provided by the Development Officer.

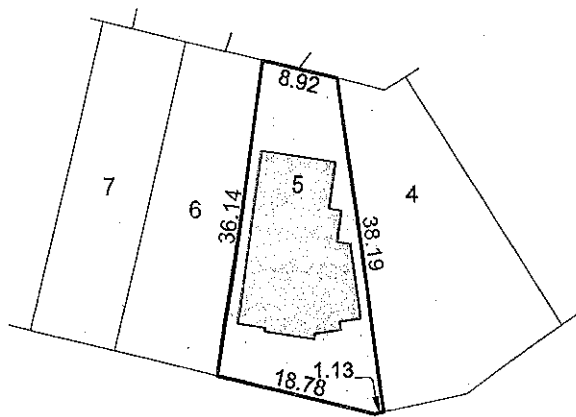
6. A Driveway shall not exceed a maximum width of 7.5m in width.
7. A concrete driveway apron from curb to sidewalk is required. A hard-surfaced driveway, as approved by the Development Officer in consultation with Engineering Services is required from sidewalk to face of the garage.
8. The development shall be constructed in accordance with the stamped approved plan(s).
9. The lot coverage is permitted at 42.76% by the Subdivision and Development Appeal Board.
10. The landscaping shall be completed within two (2) years of the date of building permit approval.
11. The exterior finishes must be completed within two (2) years of the date of development permit approval.
12. Future deck development shall be subject to a separate development permit application.
13. The deck as approved shall remain uncovered and unenclosed.
14. The basement shall not be used a separate dwelling unit.
15. **A separate Development Permit is required to allow occupancy of the raffle home after the draw is made. Change of use from 'residential sales centre' to Dwelling (single detached).**

NOTES:

- a) A person applying for, or in possession of, a valid development permit is not relieved from full responsibility for ascertaining and complying with or carrying out development in accordance with the conditions of any covenant, caveat, easement or other instrument affecting the building or land.
- b) The applicant shall be responsible for compliance with all applicable Federal, Provincial and Municipal laws, regulations and standards, as well as ensuring compliance with, and be responsible for obtaining, all applicable permits, licenses and approvals, at its own expense.
- c) All construction must conform to the relevant requirements of the Alberta Building Code, the City of St. Albert municipal engineering standards and all applicable codes, laws, regulations and standards.
- d) The City of St. Albert does not conduct independent environmental checks of land within the city. If you are concerned about the suitability of this property for any purpose, you should conduct your own tests and reviews. The City of St. Albert, in issuing this development permit, makes no representations and offers no warranties as to the suitability of the property for any purpose or as to the presence or absence of any environmental contaminants on or within the property.
- e) The city property on or adjacent to development including, but not limited to; the existing sidewalk, curb and boulevard features shall be protected from damage throughout the construction process. Damage caused by the owner, builder, tradesman or suppliers shall be repaired to the satisfaction of the City of St. Albert Engineering Services. An inspection of the existing site conditions must be completed by city staff prior to commencement of the work. All snow and debris shall be removed from the sidewalk areas for the inspection. If necessary, a city representative will contact the applicant and request the site be cleared for inspection, prior to demolition and commencement of construction.
- f) An on-street construction permit is required for any construction taking place on City property including but not limited to driveway construction. Contact Engineering Services at 780-459-1654 to obtain the permit.

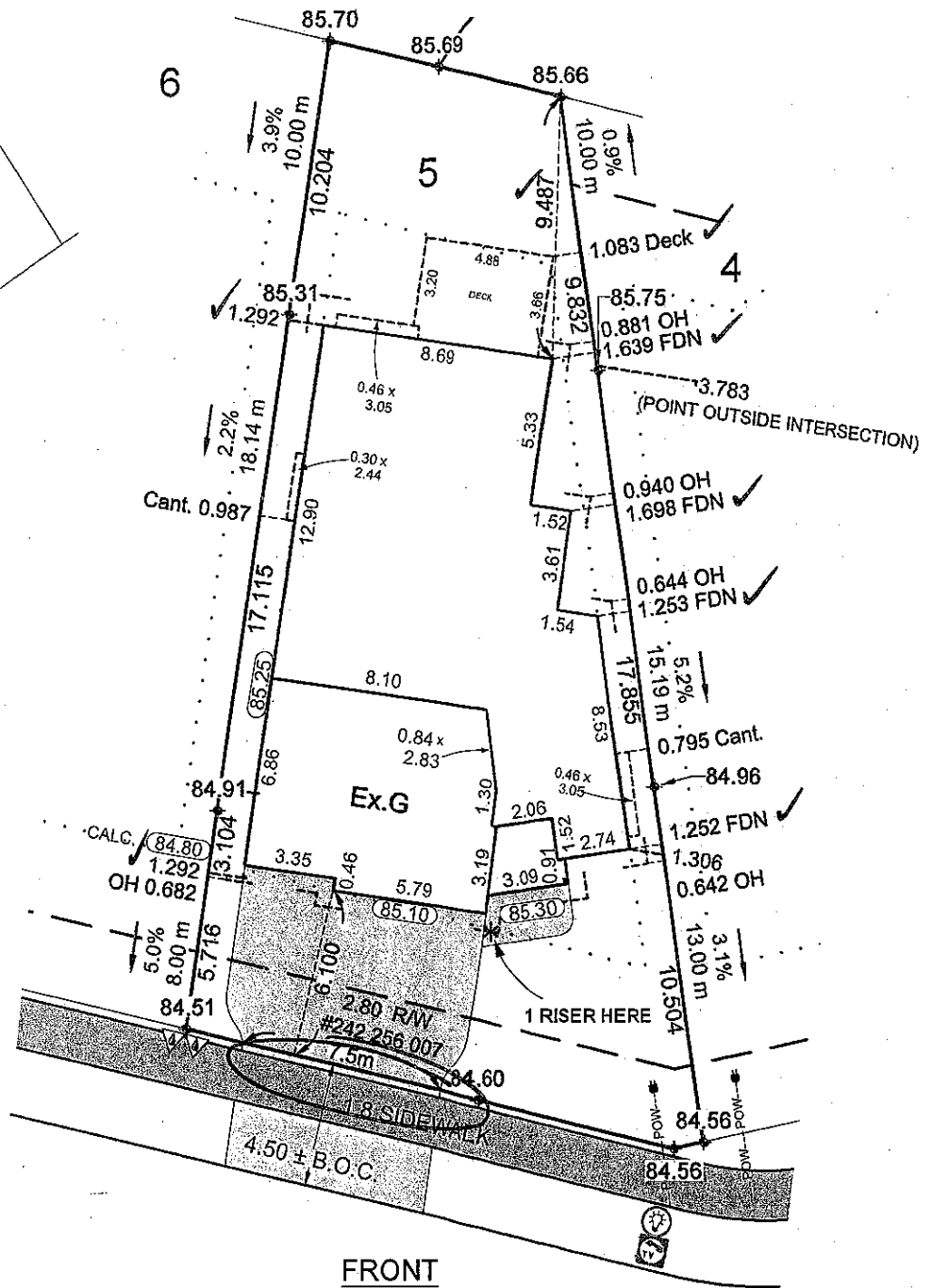
Kathleen Short  
Development Officer II

# PLOT PLAN



ROAD

NOTE:  
DRIVEWAY MUST BE CURVED/ANGLED.



FRONT

NOTE:  
DRIVEWAY MUST BE 1.25 M  
FROM STREET FURNITURE.

## ELEVATION DETAILS

## NOTES

## DETAILS

HOUSE TYPE: 1 STOREY

FINISHED FLOOR: 86.46

BOTTOM OF FOOTING: 83.08

BASEMENT HEIGHT: 9'5"

FINISHED GRADE AT-FRONT STEP: 85.30

- BUILDER/OWNER RESPONSIBLE TO ENSURE BACK FILL LEVELS MEET ALL CODES.
- BUILDER / OWNER IS LIABLE FOR ANY COSTS INCURRED DUE TO AN ERROR IN THE ABOVE PLAN IF CONSTRUCTION STARTS PRIOR TO THIS PLAN BEING APPROVED BY THE LOCAL APPROVING AUTHORITY
- ALL DISTANCES SHOWN ARE IN METER AND DECIMALS THEREOF.
- ALL DIMENSIONS AND SERVICES SHOWN MUST BE CONFIRMED BY CONTRACTOR PRIOR TO EXCAVATION.

Page 5 of 28

- LOT AREA: 520.19 m<sup>2</sup> (5599.3 ft<sup>2</sup>)
- HOUSE AREA: 222.44 m<sup>2</sup> (2394.4 ft<sup>2</sup>)
- HOUSE COVERAGE: 42.76 %
- DECK AREA: 17.74 m<sup>2</sup> (191.0 ft<sup>2</sup>)
- DECK COVERAGE: 3.41 %
- DRIVEWAY AREA: 77.38 m<sup>2</sup> (832.9 ft<sup>2</sup>)
- LOT WIDTH AT 6 m REAR SETBACK = 10.8



## DEVELOPMENT APPEAL FORM

Clerk, Subdivision and Development Appeal  
Board c/o Legislative Services  
3rd Floor, 5 St. Anne Street  
St. Albert, AB T8N 3Z9  
Phone: 780-459-1500  
email: SDABsubmissions@stalbert.ca

For Office Use Only	
Date Received	mm / dd / yyyy
Appeal Fee 4222-2210-100	Please Review Schedule "F" of the Master Rates Bylaw
Receipt No.	

This personal information is being collected under the authority of Section 685 of the *Municipal Government Act* and will be used to process your request for a development appeal hearing before the Subdivision and Development Appeal Board and will form part of a file available to the public for this purpose only. The personal information in this application is protected by the privacy provisions of the *Freedom of Information and Protection of Privacy Act*. If you have any questions about the collection of this information, please contact Legislative Services at SDABsubmissions@stalbert.ca or (780) 459-1500.

### Part A: APPELLANT/ PROPERTY INFORMATION: (please print)

Name of Appellant <b>Veneto Homes</b>			
Mailing Address: <b>Unit #130 44 Riel Drive</b>			Postal Code <b>T8N 3Z8</b>
Telephone Number(s) Residential: <b>780756-2400</b>	Cell: <b>7809409073</b>	Business:	Fax:
Email <b>info@venetohomes.com</b>			
Municipal Address of Subject Property: <b>41 Eldridge Point</b>		Legal Description: Lot <b>05</b> Block <b>05</b> Plan <b>24222069</b>	
If you are an agent/representative for the owner of the subject property being appealed, please indicate on whose behalf you are acting? <b>Adrianna Chiumento</b> <b>Owner/Contractor</b>			
Name (please print)		Interest (i.e. buyer, seller, neighbour, contractor)	
<u>Note:</u> Agents and representatives must provide written authorization from the subject property owner prior to the hearing. An appeal will not be processed unless Parts A and B are completed and the appeal fee is paid.			

### Part B: REASONS FOR APPEAL: (please be specific and attach additional sheets if necessary)

We planned the home for BBBS lottery to be opened December 2025. Our designer was following the regulations for the city of Edmonton not City of St. Albert. We are over by 2% on site coverage. We would prefer to leave the floorplan as is instead of re-design.

In accordance with the City of St. Albert Bylaw and subject to all provisions and regulations stated therein, including revocation and termination, by typing my full name below and dating this application I certify that all information contained in this application is complete and accurate.

Date: **April 30, 2025**

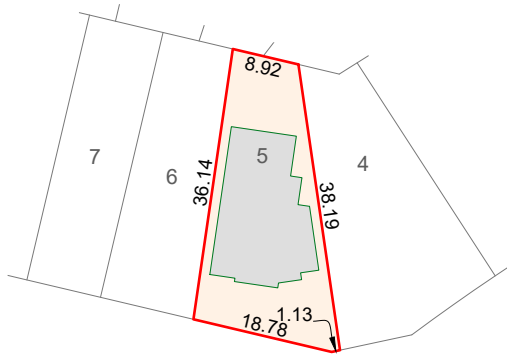
Name: **Adrianna Chiumento**

Please email this completed Appeal form to sdabsubmissions@stalbert.ca. Upon receipt of the form, an invoice with the Appeal fee will be emailed to the email provided on this form (Please note we do not accept Visa-Debit), or, it can be filed with Legislative Services at:

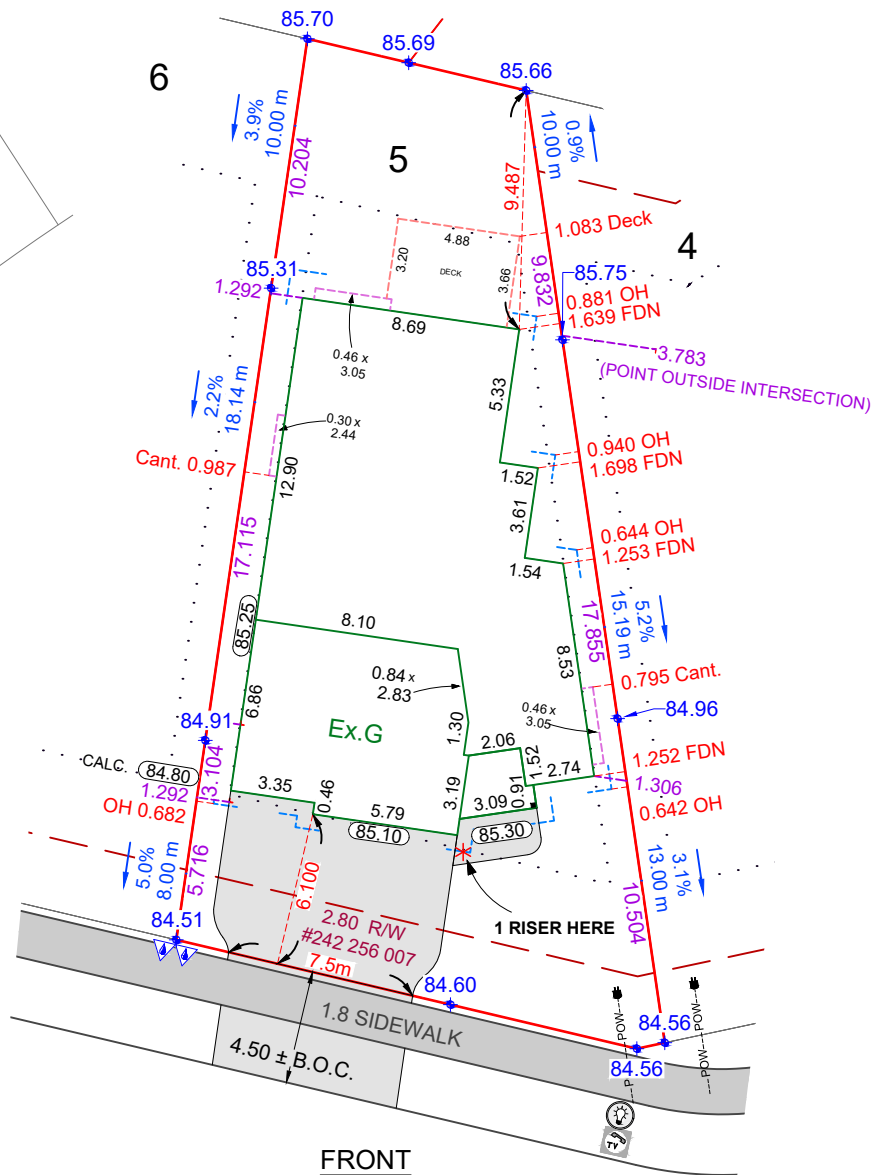
City of St. Albert  
St. Albert Place, 3rd Floor  
5 St. Anne Street  
St. Albert AB T8N 3Z9

Once payment is confirmed, further information will be sent to the email address provided on this form.

**Your Appeal is not considered to be filed until payment is received in full. A delay in making payment can result in the expiration of the Appeal Period. Appeals will be processed during regular business hours.**



**NOTE:**  
DRIVEWAY MUST BE CURVED/ANGLED.



**NOTE:**  
DRIVEWAY MUST BE 1.25 M  
FROM STREET FURNITURE.

DETAILS
<ul style="list-style-type: none"> <li>- LOT AREA: 520.19 m<sup>2</sup> (5599.3 ft<sup>2</sup>)</li> <li>- HOUSE AREA: 222.44 m<sup>2</sup> (2394.4 ft<sup>2</sup>)</li> <li>- HOUSE COVERAGE: 42.76 %</li> <li>- DECK AREA: 17.74 m<sup>2</sup> (191.0 ft<sup>2</sup>)</li> <li>- DECK COVERAGE: 3.41 %</li> <li>- DRIVEWAY AREA: 77.38 m<sup>2</sup> (832.9 ft<sup>2</sup>)</li> <li>- LOT WIDTH AT 6 m REAR SETBACK = 10.84 m</li> </ul>

DWG DETAILS			
Rev. No.	Date:	Drafted By:	Description
PP	1/30/25	LALEA	
BUILDER/OWNER: VENETO CUSTOM HOMES			
MODEL: (STANDARD)			
JOB NUM.:			
LOT ZONING: I DR		SCALE: 1:300	



# BBBS LOTTERY HOME

## PRICING/PERMIT DRAWINGS FEBRUARY 18, 2025

### LEGAL DESCRIPTION

LOT 5  
BLOCK 5  
PLAN UNREG.  
ERIN RIDGE

### MUNICIPAL ADDRESS

41 ELDRIDGE POINT

### DRAWING LIST

- 1. SITE PLAN
- 2. FRONT ELEVATION
- 3. GARAGE FRONT ELEVATION
- 4. RIGHT ELEVATIONS
- 5. REAR ELEVATION
- 6. LEFT ELEVATION
- 7. FOUNDATION PLAN
- 8. BASEMENT DEVELOPMENT PLAN
- 9. MAIN FLOOR PLAN
- 10. ROOF PLAN
- 11. BUILDING SECTION A
- 12. BUILDING SECTION B
- 13. BUILDING SECTION C
- 14. BUILDING SECTION D
- 15. BUILDING SECTION E & F
- 16. SPEC NOTES & DETAILS
- 17. ENERGY DETAILS



**SITE PLAN**

**PROPOSED HOUSE**

**PROPOSED GARAGE**

**SETBACKS:**

- Top Boundary: 30'-10" [9.40m]
- Bottom Boundary: 32'-9 1/2" [9.99m]
- Right Boundary: 20'-1" [6.13m]

**Dimensions:**

- House Width: 20'-7 1/2" [6.29m]
- House Depth: 20'-1" [6.13m]
- Garage Width: 20'-1" [6.13m]
- Garage Depth: 20'-7 1/2" [6.29m]

**Area Calculations:**

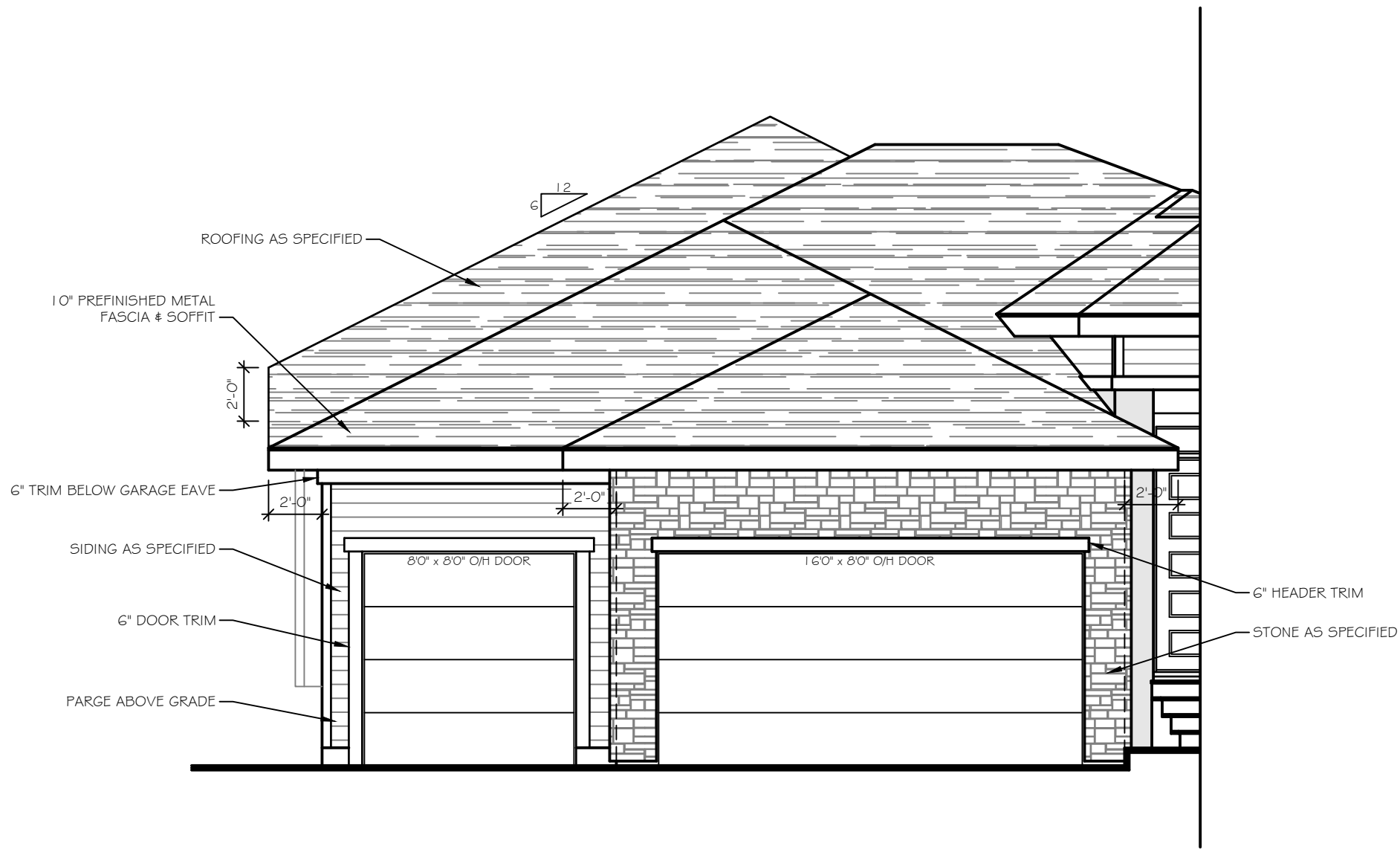
- Lot Area: 5599.30 SQ. FT.
- House Area: 2417.16 SQ. FT.
- Site Coverage: 43.2%



TOTAL AREA:	5599.30 SQ. FT.
HOUSE AREA:	2417.16 SQ. FT.
TOTAL SITE COVERAGE:	43.2%

<u>PROJECT</u>  BBBS LOTTERY HOME		<u>LEGAL DESCRIPTION</u>  LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE	<u>DATE</u> FEBRUARY 18, 2025	 Page 9 of 28		<u>DISCLAIMER</u>  Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting & Design and shall not be used with the permission of Redan Drafting & Design.	<u>PAGE</u>  1
<u>DRAWING</u>  SITE PLAN	<u>ADDRESS</u>  41 ELDRIDGE POINT	<u>DRAWN BY</u> D.B.	<u>SCALE</u> 3/32" = 1'-0"				





**E2** GARAGE FRONT ELEVATION  
(CONFIRM GRADING WITH SURVEYOR)

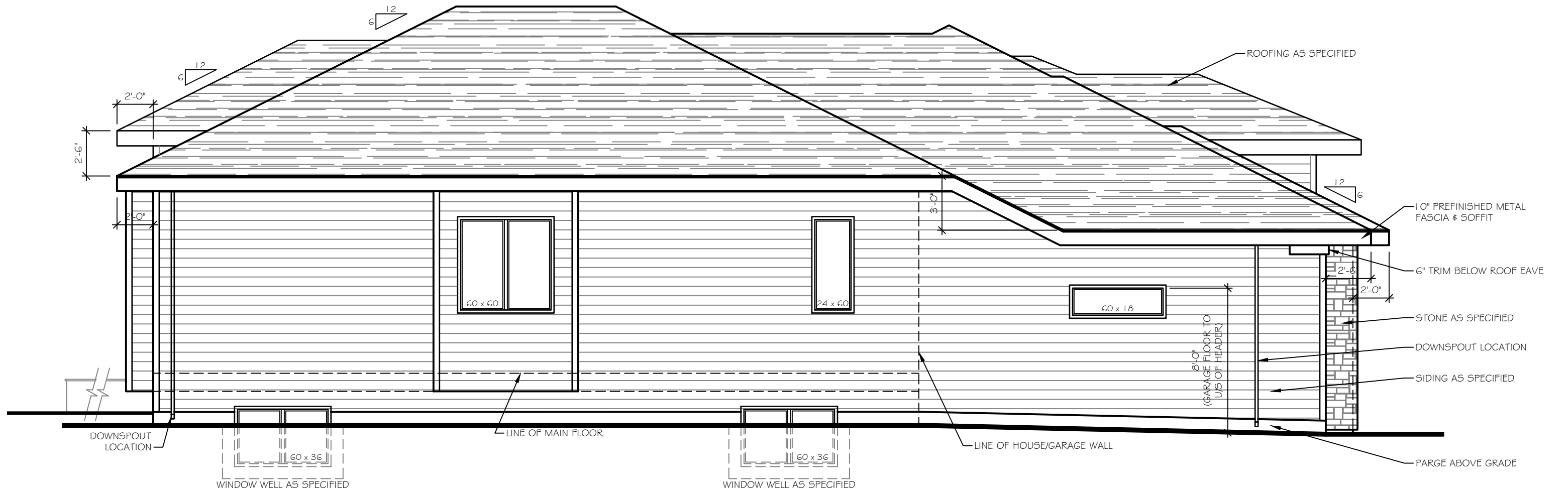
<div>PROJECT</div> <div>BBBS LOTTERY HOME</div>		<div>LEGAL DESCRIPTION</div> <div>LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE</div>	<div>DATE</div> FEBRUARY 18, 2025	<div>VENETO CUSTOM HOMES</div> <div>Page 11 of 28</div>	<div>REDAN DRAFTING + DESIGN</div>	<div>DISCLAIMER</div> <div>Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting &amp; Design and shall not be use with the permission of Redan Drafting &amp; Design.</div>	<div>PAGE</div> <div>3</div>
<div>DRAWING</div> <div>GARAGE FRONT ELEVATION</div>	<div>ADDRESS</div> <div>41 ELDRIDGE POINT</div>		<div>DRAWN BY</div> <div>D.B.</div>				
			<div>SCALE</div> <div>3/16" = 1'-0"</div>				





**E5** REAR ELEVATION  
(CONFIRM GRADING WITH SURVEYOR)

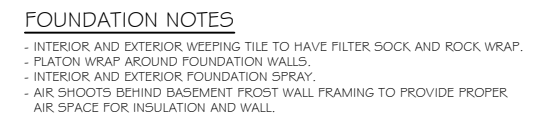
<div>PROJECT</div> <div>BBBS LOTTERY HOME</div>		<div>LEGAL DESCRIPTION</div> <div>LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE</div>	<div>DATE</div> FEBRUARY 18, 2025		<div>VENETO CUSTOM HOMES</div> <div>Page 13 of 28</div>	<div>REDAN DRAFTING + DESIGN</div>	<div>DISCLAIMER</div> <div>Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting &amp; Design and shall not be use with the permission of Redan Drafting &amp; Design.</div>	<div>PAGE</div> <div>5</div>
<div>DRAWING</div> <div>REAR ELEVATION</div>	<div>ADDRESS</div> <div>41 ELDRIDGE POINT</div>		<div>DRAWN BY</div> <div>D.B.</div>	<div>SCALE</div> <div>3/16" = 1'-0"</div>				



**E6** LEFT ELEVATION  
(CONFIRM GRADING WITH SURVEYOR)

<b>PROJECT</b> BBBS LOTTERY HOME		<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025		<div>VENETO CUSTOM HOMES</div> <div>REDAN DRAFTING + DESIGN</div> <div>Page 14 of 28</div>	<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<b>PAGE</b> 6
<b>DRAWING</b> LEFT ELEVATION	<b>ADDRESS</b> 41 ELDRIDGE POINT			<b>DRAWN BY</b> D.B.	<b>SCALE</b> 3/16" = 1'-0"			

- 9'-1" CEILING THROUGHOUT.
- WINDOW HEADERS SET 10" BELOW U/S OF MAIN FLOOR JOISTS.
- CONFIRM ALL STRUCTURE WITH MANUFACTURER.

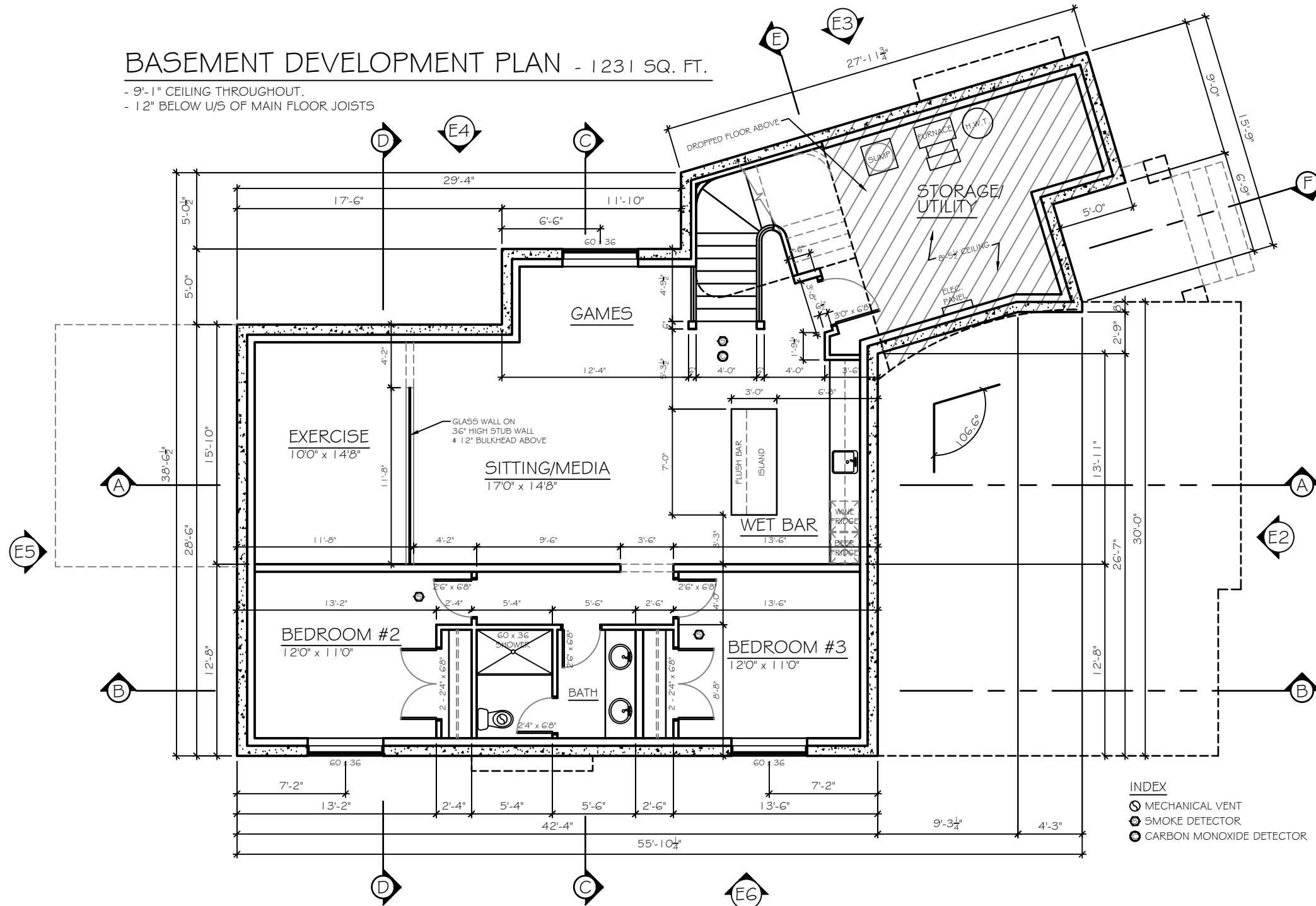


<u>PROJECT</u> <p style="text-align: center;"><b>BBBS LOTTERY HOME</b></p>		<u>LEGAL DESCRIPTION</u> <p style="text-align: center;">LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE</p>	<u>DATE</u> FEBRUARY 18, 2025	 <p style="text-align: center;">Page 15 of 28</p>		<u>DISCLAIMER</u> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<u>PAGE</u> <p style="text-align: center; font-size: 2em;"><b>7</b></p>
<u>DRAWING</u> <p style="text-align: center;">FOUNDATION PLAN</p>	<u>ADDRESS</u> <p style="text-align: center;">41 ELDRIGE POINT</p>	<u>DRAWN BY</u> D.B.	<u>SCALE</u> 1/8" = 1'-0"				



# BASEMENT DEVELOPMENT PLAN - 1231 SQ. FT.

- 9'-1" CEILING THROUGHOUT.
- 1/2" BELOW U/S OF MAIN FLOOR JOISTS



PROJECT  
**BBBS LOTTERY HOME**

DRAWING  
BASEMENT DEVELOPMENT PLAN

ADDRESS  
41 ELDRIDGE POINT

LEGAL DESCRIPTION  
LOT 5  
BLOCK 5  
PLAN UNREG.  
ERIN RIDGE

DATE FEBRUARY 18, 2025  
DRAWN BY D.B.  
SCALE 1/8" = 1'-0"

VENETO  
CUSTOM HOMES  
Page 16 of 28

REDAN  
DRAFTING + DESIGN

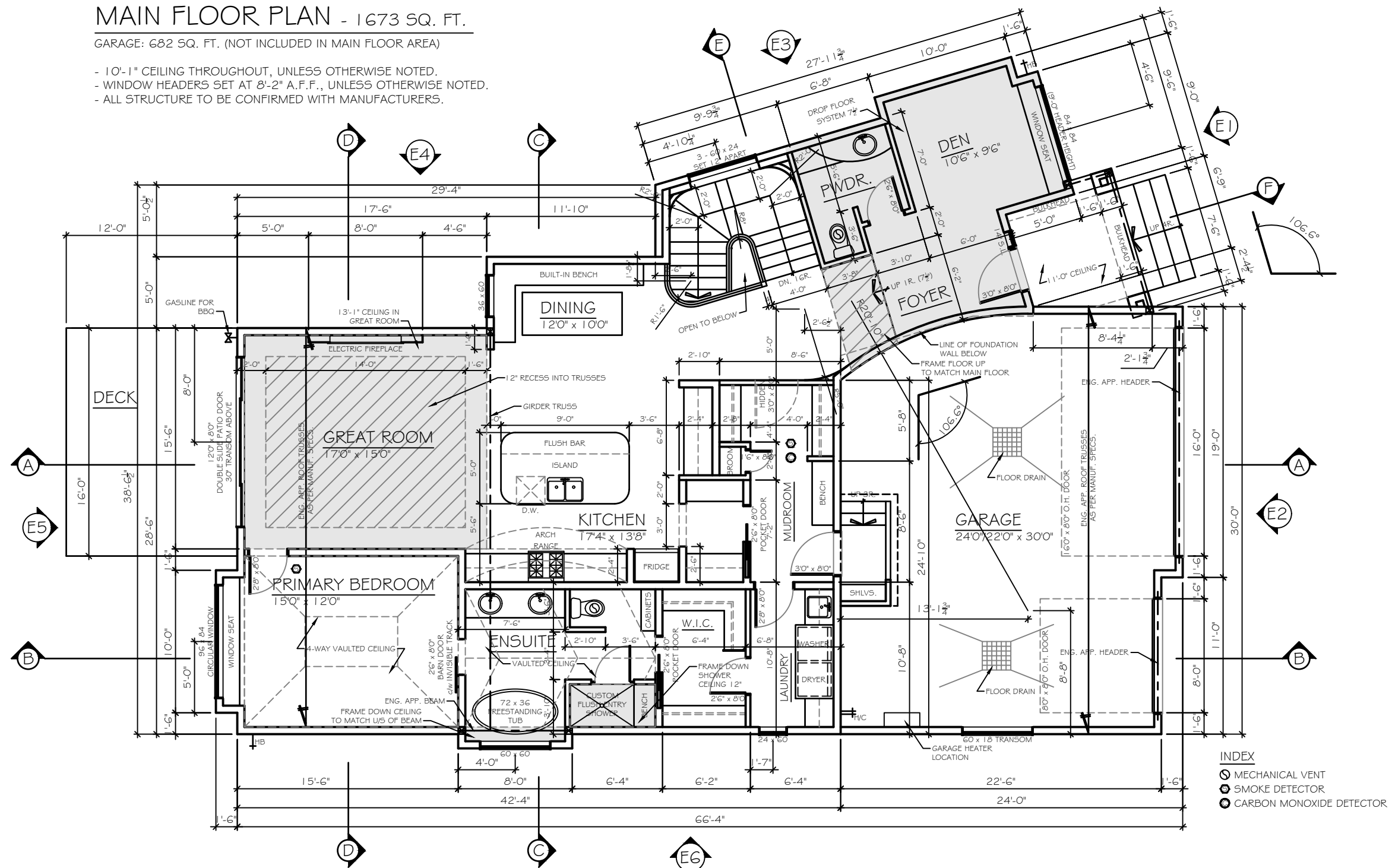
DISCLAIMER  
Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.

PAGE  
**8**

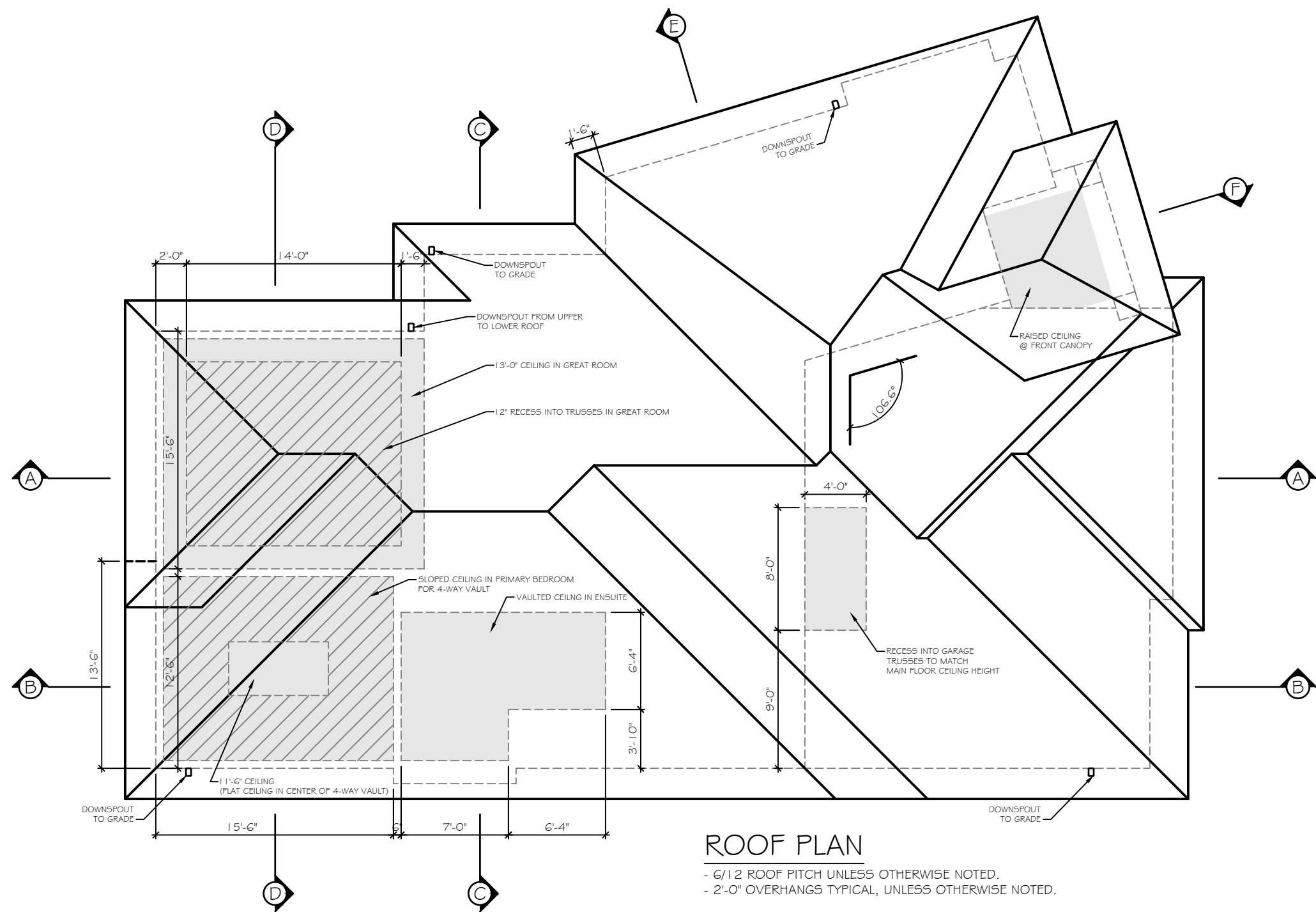
GARAGE: 682 SQ. FT. (NOT INCLUDED IN MAIN FLOOR AREA)

GARAGE: 682 SQ. FT. (NOT INCLUDED IN MAIN FLOOR AREA)

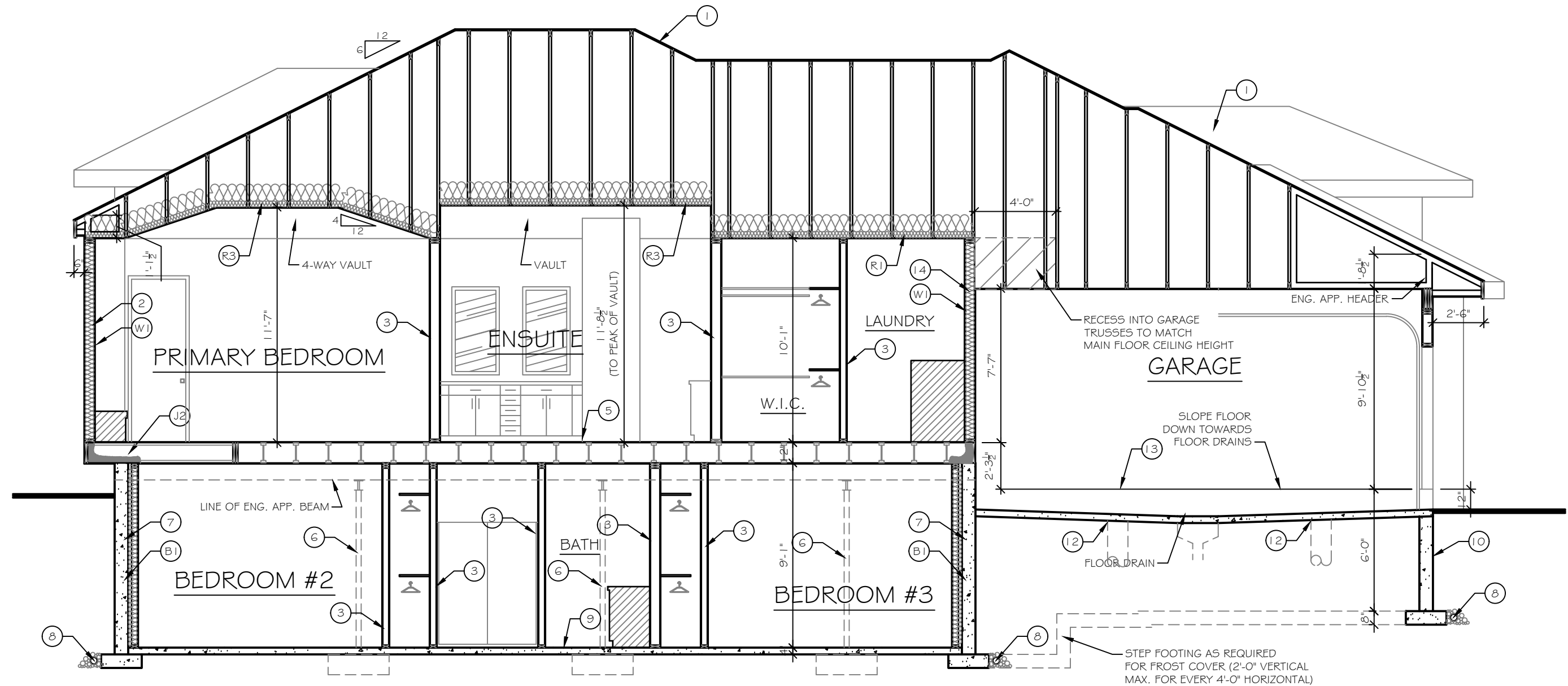
- 10'-1" CEILING THROUGHOUT, UNLESS OTHERWISE NOTED.
- WINDOW HEADERS SET AT 8'-2" A.F.F., UNLESS OTHERWISE NOTED.
- ALL STRUCTURE TO BE CONFIRMED WITH MANUFACTURERS.



<u>PROJECT</u> <div style="text-align: center; font-size: 1.2em; font-weight: bold;">BBBS LOTTERY HOME</div>		<u>LEGAL DESCRIPTION</u> <div style="text-align: center;">             LOT 5              BLOCK 5              PLAN UNREG.              ERIN RIDGE           </div>	<u>DATE</u> FEBRUARY 18, 2025			<u>DISCLAIMER</u> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<u>PAGE</u> <div style="text-align: center; font-size: 2em; font-weight: bold;">9</div>
<u>DRAWING</u> <div style="text-align: center;">MAIN FLOOR PLAN</div>	<u>ADDRESS</u> <div style="text-align: center;">41 ELDRIGE POINT</div>	<u>DRAWN BY</u> D.B.	<u>SCALE</u> 1/8" = 1'-0"				

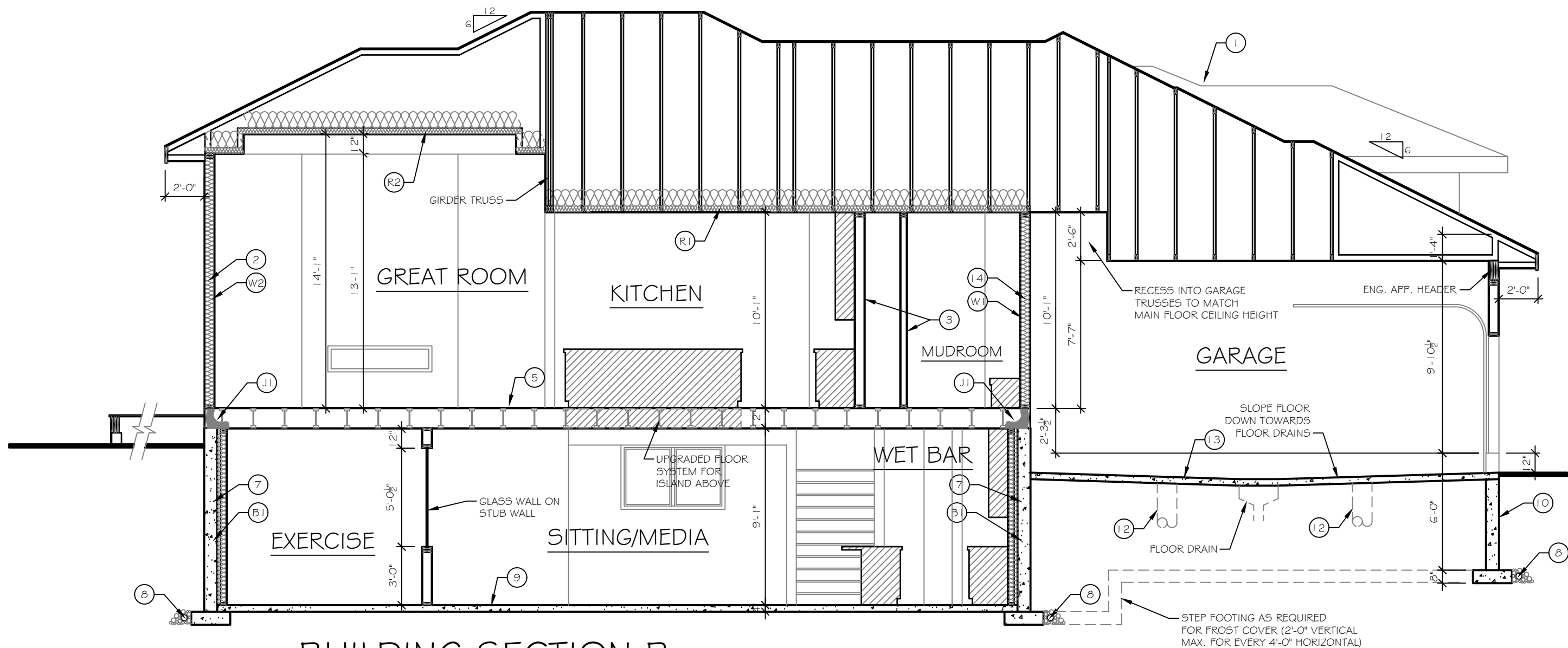


<b>PROJECT</b> <b>BBBS LOTTERY HOME</b>	<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025	 Page 18 of 28		<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<b>PAGE</b> <b>10</b>
<b>DRAWING</b> ROOF PLAN			<b>DRAWN BY</b> D.B.				
<b>ADDRESS</b> 41 ELDRIGE POINT			<b>SCALE</b> 1/8" = 1'-0"				



**BUILDING SECTION A**  
- GRADING TO BE CONFIRMED WITH SURVEYOR

<b>PROJECT</b> BBBS LOTTERY HOME		<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025	 Page 19 of 28		<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<b>PAGE</b> 11
<b>DRAWING</b> BUILDING SECTION A	<b>ADDRESS</b> 41 ELDRIDGE POINT			<b>DRAWN BY</b> D.B.				
				<b>SCALE</b> 3/16" = 1'-0"				



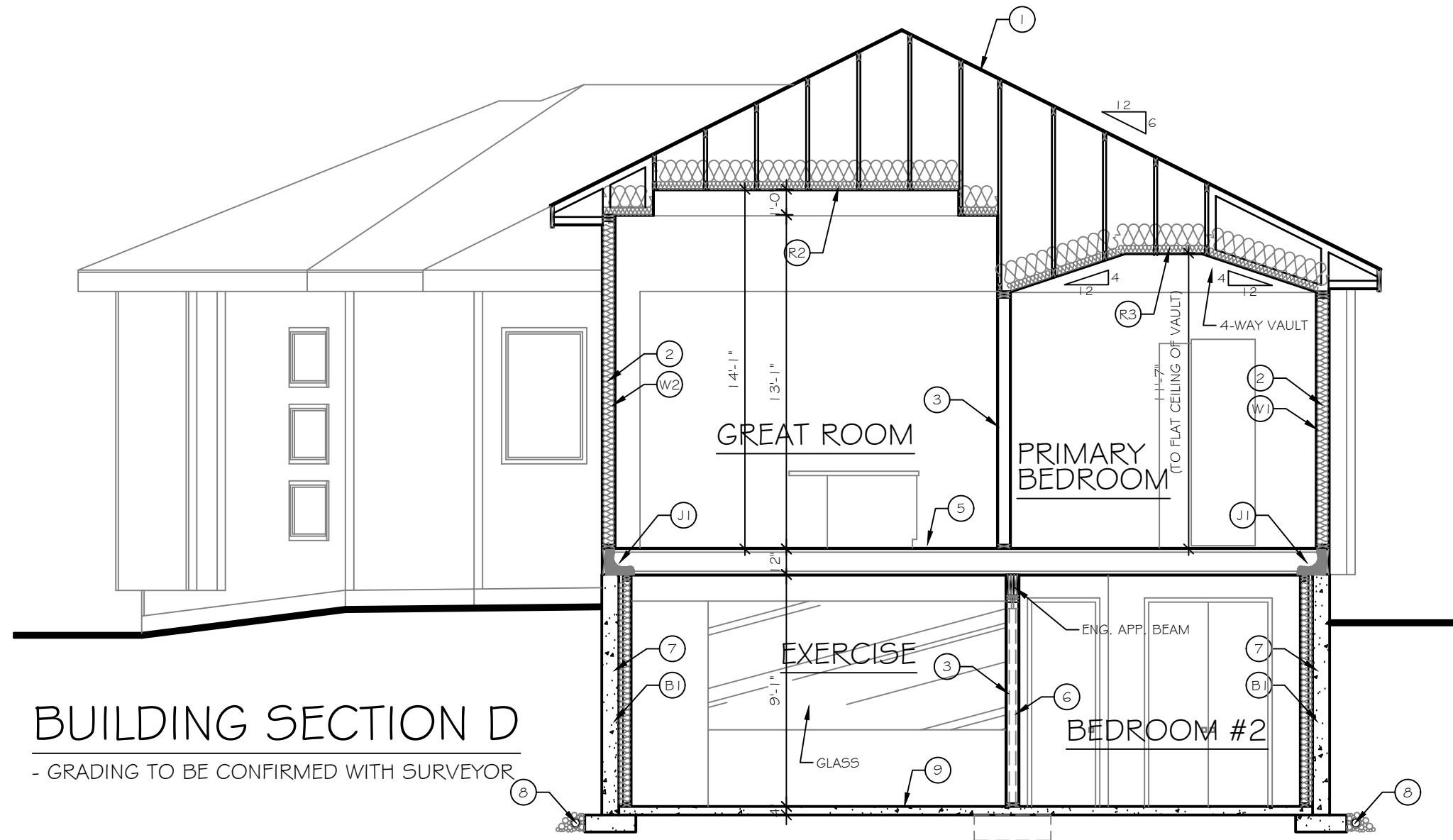
<b>PROJECT</b> <b>BBBS LOTTERY HOME</b>		<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025  <b>DRAWN BY</b> D.B.  <b>SCALE</b> 3/16" = 1'-0"	 Page 20 of 28		<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<b>PAGE</b> <div>12</div>
<b>DRAWING</b> BUILDING SECTION B	<b>ADDRESS</b> 41 ELDRIDGE POINT							

# BUILDING SECTION C

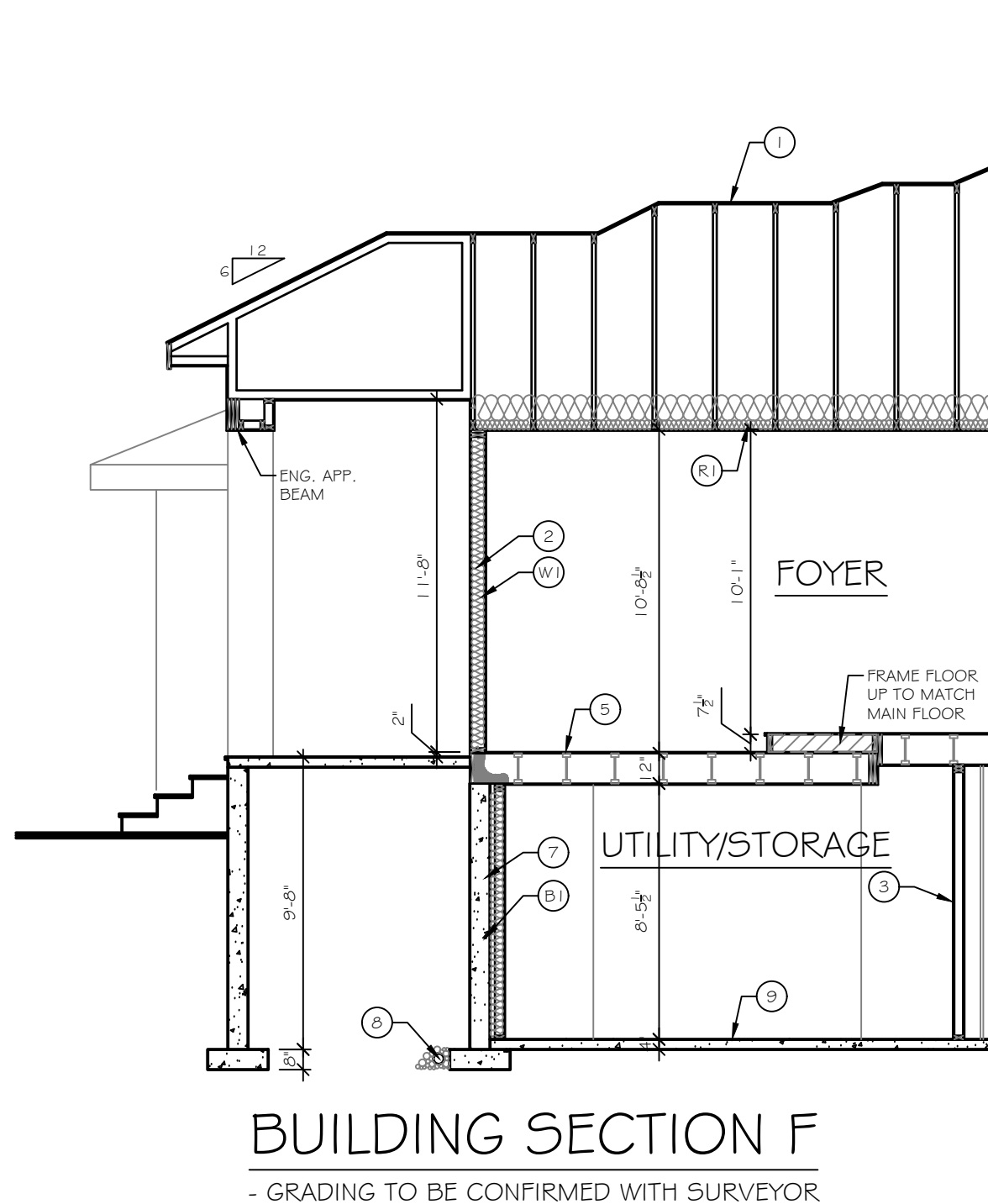
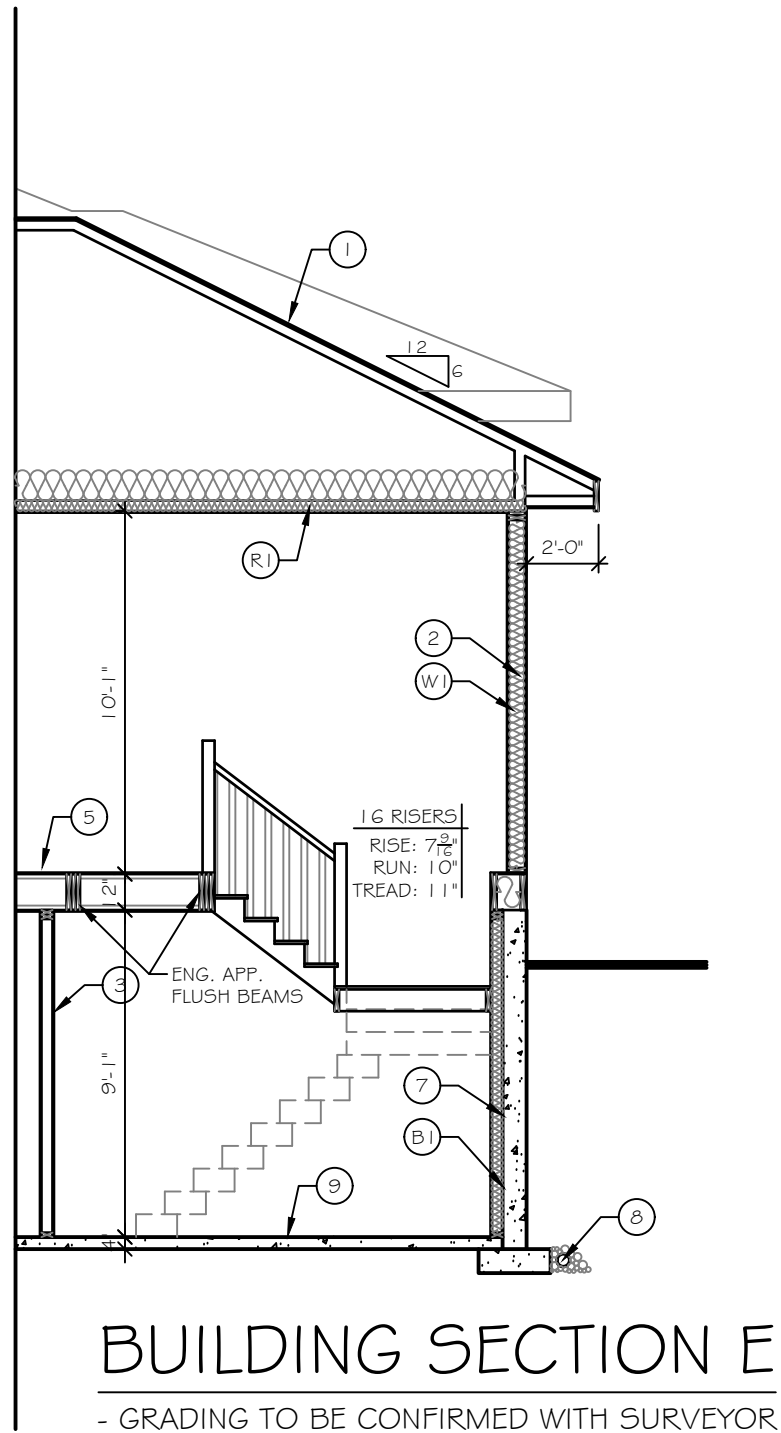
- GRADING TO BE CONFIRMED WITH SURVEYOR



<b>PROJECT</b> <b>BBBS LOTTERY HOME</b>		<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025 <b>DRAWN BY</b> D.B. <b>SCALE</b> 3/16" = 1'-0"		<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.		<b>PAGE</b> <b>13</b>
<b>DRAWING</b> BUILDING SECTION C	<b>ADDRESS</b> 41 ELDRIDGE POINT							

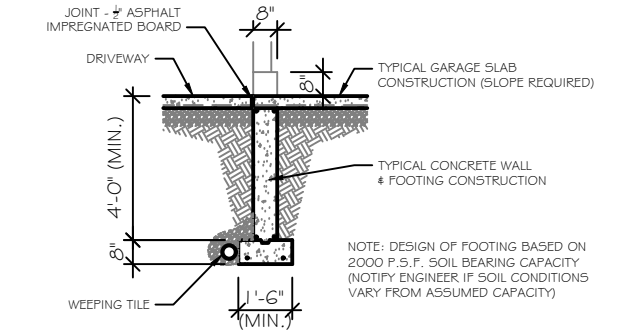


<div>PROJECT</div> <div>BBBS LOTTERY HOME</div> <div>DRAWING</div> <div>BUILDING SECTION D</div>	<div>LEGAL DESCRIPTION</div> <div>LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE</div>	<div>DATE FEBRUARY 18, 2025</div> <div>DRAWN BY D.B.</div> <div>SCALE 3/16" = 1'-0"</div>	<div>VENETO CUSTOM HOMES</div> <div>Page 22 of 28</div>	<div>REDAN DRAFTING + DESIGN</div>	<div>DISCLAIMER</div> <div>Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting &amp; Design and shall not be use with the permission of Redan Drafting &amp; Design.</div>	<div>PAGE</div> <div>14</div>
--	--	---	---	--	--	-------------------------------

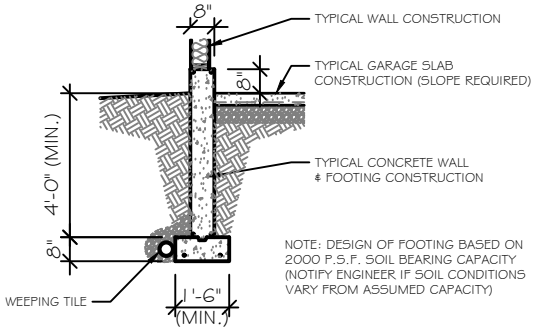


<b>PROJECT</b> <b>BBBS LOTTERY HOME</b>	<b>LEGAL DESCRIPTION</b> LOT 5 BLOCK 5 PLAN UNREG. ERIN RIDGE		<b>DATE</b> FEBRUARY 18, 2025	 Page 23 of 28		<b>DISCLAIMER</b> Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the instruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.	<b>PAGE</b> <b>15</b>
<b>DRAWING</b> BUILDING SECTIONS E & F	<b>ADDRESS</b> 41 ELDRIDGE POINT	<b>DRAWN BY</b> D.B.	<b>SCALE</b> 3/16" = 1'-0"				

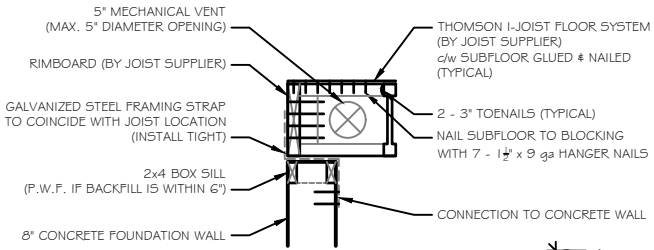




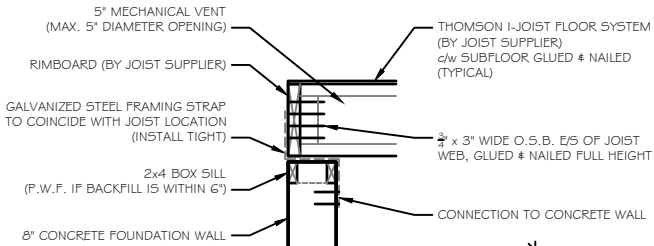
GARAGE FROST WALL DETAIL @ OVERHEAD DOOR  
SCALE:  $\frac{3}{16}$ " = 1'-0"



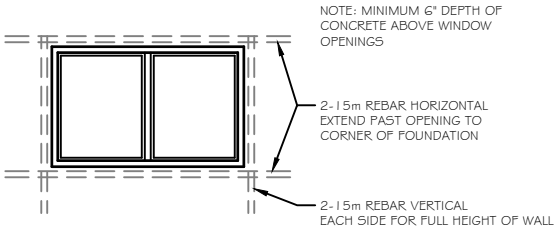
GARAGE FROST WALL DETAIL (TYP.)  
SCALE:  $\frac{3}{16}$ " = 1'-0"



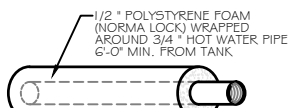
LATERAL BRACING, ENDWALL CONDITION  
SCALE:  $\frac{3}{8}$ " = 1'-0"



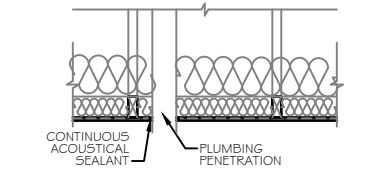
LATERAL BRACING, SIDEWALL CONDITION  
SCALE:  $\frac{3}{8}$ " = 1'-0"



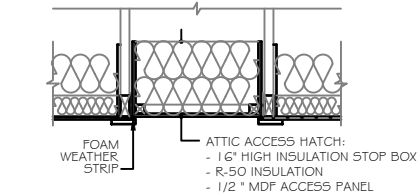
BASEMENT WINDOW REINFORCEMENT DETAIL  
SCALE:  $\frac{3}{16}$ " = 1'-0"



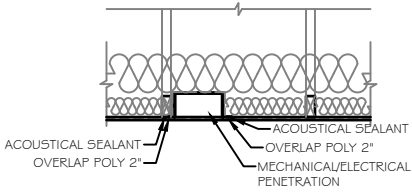
INSULATED H.W.T. PIPE  
SCALE: N.T.S.



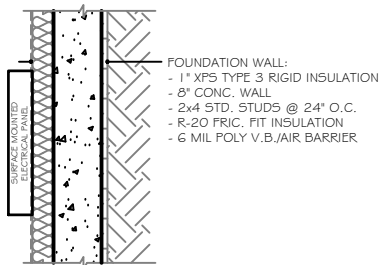
ATTIC PLUMBING STACK DETAIL  
SCALE: N.T.S.



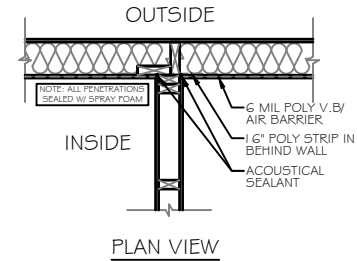
ATTIC ACCESS DETAIL  
SCALE: N.T.S.



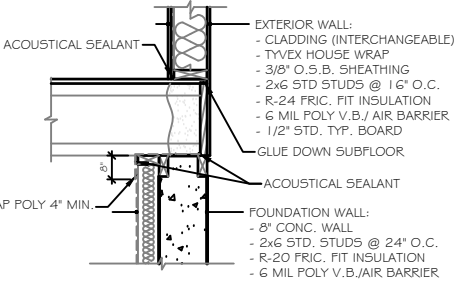
ATTIC PENETRATION DETAIL  
SCALE: N.T.S.



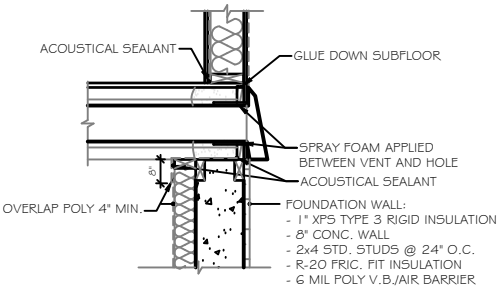
ELECTRICAL PANEL DETAIL  
SCALE: N.T.S.



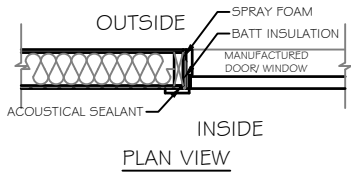
INTERIOR WALL DETAIL  
SCALE: N.T.S.



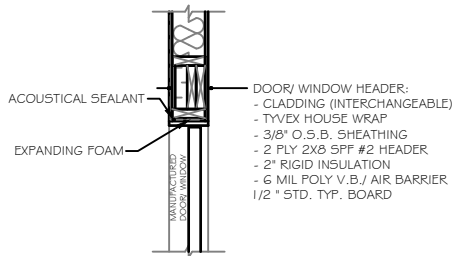
RIM JOIST @ FOUNDATION DETAIL  
SCALE: N.T.S.



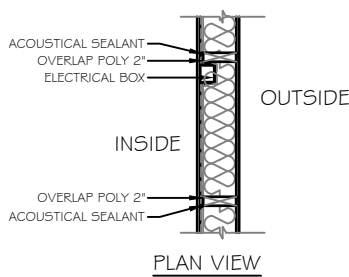
WALL VENT DETAIL  
SCALE: N.T.S.



WALL TO DOOR/WINDOW SILL DETAIL  
SCALE: N.T.S.



WALL TO DOOR/  
WINDOW HEADER DETAIL  
SCALE: N.T.S.



ELECTRICAL BOX DETAIL  
SCALE: N.T.S.

### CONSTRUCTION SPECIFICATIONS

(UNLESS OTHERWISE NOTED, SUBJECT TO BUILDER'S SPECIFICATIONS)

- ROOF CONSTRUCTION**  
CONSTRUCTION DETAILS AS PER CEILINGS BELOW ATTIC ASSEMBLY DETAILS (R1, R2 & R3)  
ALUMINUM EAVESTROUGH 2"x6" (38mm x 140mm)  
ALUMINUM FASCIA  
ALUMINUM VENTED SOFFITS  
ATTIC VENT 1:300 OF INSULATED AREA
- FRAME WALL CONSTRUCTION**  
CONSTRUCTION DETAILS AS PER EXTERIOR WALL (W1, W2 & W3) AND TALL WALL (W4 & W5) DETAILS
- INTERIOR STUD PARTITIONS (NON LOAD BEARING)**  
2"x4" (38mm x 89mm) S.P.F. STUDS @ 16" (400mm) O.C.  
 $\frac{1}{2}$ " (13mm) INTERIOR DRYWALL BOTH SIDES  
2x4" (38mm x 89mm) S.P.F. PLATE  
2 - 2"x4" (38mm x 89mm) S.P.F. TOP PLATE  
(PROVIDE BLOCKING FOR TRACK WHERE BI-PASS DOORS ARE INSTALLED)
- BEARING STUD PARTITIONS**  
2"x6" (38mm x 140mm) S.P.F. STUDS @ 16" (400mm) O.C.  
 $\frac{1}{2}$ " (13mm) INTERIOR DRYWALL BOTH SIDES  
2x6" (38mm x 140mm) S.P.F. BOTTOM PLATE  
2 - 2"x6" (38mm x 140mm) S.P.F. TOP PLATE  
(PROVIDE BLOCKING FOR TRACK WHERE BI-PASS DOORS ARE INSTALLED)
- FLOOR CONSTRUCTION**  
FINISH FLOOR ON  $\frac{5}{8}$ " (22mm) O.S.B. OR PLYTHOMSON SUBFLOOR (SCREWED AND GLUED)  
TJI FLOOR JOISTS AS PER MANUFACTURER SPECIFICATIONS, UNLESS OTHERWISE NOTED  
REFER TO ASSEMBLIES F1 & F2 FOR FLOORS ABOVE UNHEATED/UNCONDITIONED SPACES

- TELEPOSTS & BEAMS**  
3" (75mm) TELEPOST PIPE COLUMN c/w 6"x6"x $\frac{5}{8}$ " (140mm x 140mm x 16mm) BEARING PLATE  
36" x 36" x 12" (915mm x 915mm x 305mm) CONCRETE FOOTING c/w 3-15m EACH WAY  
(UPGRADED TELEPOST & PADS AS PER ENGINEERED LAYOUT)
- FOUNDATION WALL**  
BITUMOUS DAMP PROOFING  
8" (200mm) WIDE CONCRETE WALL c/w 2 HORIZONTAL ROWS #10 STEEL REBAR TOP & BOTTOM  
18" x 8" (450mm x 200mm) CONCRETE STRIP FOOTING c/w KEYWAY  
ALL CONCRETE TO BE 32MPa, TYPE 50, 28mm AGGREGATE  
2"x4" (38mm x 89mm) STUDS @ 24" (600mm) O.C. c/w R20 FRICTION FIT BATT INSULATION
- WEEPING TILE**  
4" (100mm) WEEPING TILE c/w 6" (152mm) CRUSHED STONE OVER
- CONCRETE FLOOR**  
4" (100mm) THICK CONCRETE, 32MPa, TYPE 50, 28mm AGGREGATE  
6mil VAPOUR BARRIER  
6" (152mm) CRUSHED STONE

- GARAGE FOUNDATION WALL**  
BITUMOUS DAMP PROOFING  
8" (200mm) WIDE CONCRETE WALL c/w 2 HORIZONTAL ROWS #10 STEEL REBAR TOP & BOTTOM  
18" x 8" (450mm x 200mm) CONCRETE STRIP FOOTING c/w KEYWAY  
ALL CONCRETE TO BE 32MPa, TYPE 50, 28mm AGGREGATE
- GARAGE GRADE BEAM FOUNDATION**  
BITUMOUS DAMP PROOFING  
8" x 24" (200mm x 600mm) CONCRETE GRADE BEAM c/w 2-10m TOP & BOTTOM  
CONTINUOUS 10m TIES AT 18" (460mm) O.C.  
TIE GRADE BEAM TO BASEMENT WALL WITH 4-10m 4'-0" (1220mm) DOWELS
- PILES**  
12" (305mm) DIAMETER PILES, MINIMUM 12'-0" DEEP  
REINFORCED WITH 2-10m VERTICALLY EXTENDED 16" (400mm) AND BENT
- GARAGE FLOOR**  
4" (100mm) CONCRETE SLAB c/w 10m @ 24" (600mm) O.C. EACH WAY  
6" (152mm) COMPACTED CRUSH STONE AS REQUIRED  
10m x 2'-0" DOWELS @ 2'-0" (610mm) INTO GRADE BEAM AND BASEMENT WALL
- SEPERATION WALL**  
 $\frac{1}{2}$ " (13mm) FIREGUARD ONLY ON WALLS AND CEILING OF GARAGE DIRECTLY SEPARATING THE GARAGE FROM HABITABLE SPACE  
TAPE AND SEAL ALL JOINTS  
PROVIDE RSI VALUES AS PRESCRIBED IN ASSEMBLIES W1 & F3

### CONSTRUCTION NOTES

- DRYER VENTS TO BE CAPPED.
- INSULATED ATTIC ACCESS HATCH 20" x 28" (510mm x 170mm).
- TOP OF FIREPLACE CHIMNEYS SHALL BE 3'-0" (915mm) ABOVE HIGHEST POINT AT WHICH IT COMES IN CONTACT WITH THE ROOF 2'-0" (610mm) ABOVE SURFACE WITHIN A HORIZONTAL DISTANCE OF 10'-0" (3059mm) FROM CHIMNEY.
- LINEN CLOSETS - 4 SHELVES MINIMUM 1'-2" (350mm) DEEP.
- WASHROOMS TO BE MECHANICALLY VENTED TO PROVIDE AT LEAST ONE AIR CHANGE PER HOUR.
- U.L.C. RATED CLASS "B" VENT 2'-0" (610mm) HIGH FROM POINT IN CONTACT WITH ROOF FOR SLOPES UP TO 9/12 AND 4'-0" (1222mm) FOR SLOPES GREATER THAN 9/12 MINIMUM. 2" CLEAN AIR SPACE AROUND FLUE.
- STAIR SUPPORT TO BE 4"x4" (89mm x 89mm) S.P.F. POST ON 24"x24"x8" (610mm x 610mm x 200mm) CONCRETE FOOTING.
- PROVIDE FLASHING ABOVE ALL EXTERIOR WINDOWS, DOORS AND OPENINGS.
- NON-HARDENING CAULKING COMPOUND TO BE USED OVER AND AROUND ALL EXTERIOR OPENINGS.
- PLUMBING ACCESS OF 16"x20" (400mm x 500mm) TO BE PROVIDED FOR TUBS AND SHOWERS.
- PROVIDE FRESH AIR INTAKES FOR FURNACES AND FIREPLACES.
- ALL LINTELS TO BE 3-2"x10" (3-38mm x 240mm).
- FRAME 2" (50mm) CLEAR OR FIREPLACE.
- SIDING OR STUCCO TO BE 8" (200mm) ABOVE FINISHED GRADE.
- AL WORKMANSHIP TO BE A STANDARD EQUAL IN ALL RESPECTS TO GOOD BUIDING PRACTICE.

#### PROJECT

BBBS LOTTERY HOME

#### DRAWING

SPEC NOTES & DETAILS

#### ADDRESS

41 ELDRIDGE POINT

#### LEGAL DESCRIPTION

LOT 5  
BLOCK 5  
PLAN UNREG.  
ERIN RIDGE

DATE FEBRUARY 18, 2025

DRAWN BY D.B.

SCALE AS NOTED



Page 24 of 28

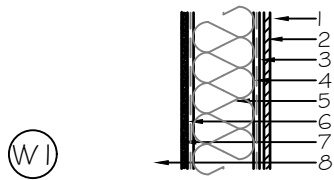
REDAN  
DRAFTING + DESIGN

#### DISCLAIMER

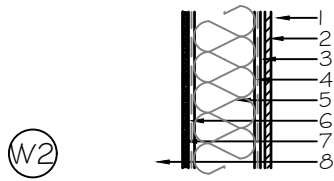
Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.

#### PAGE

16

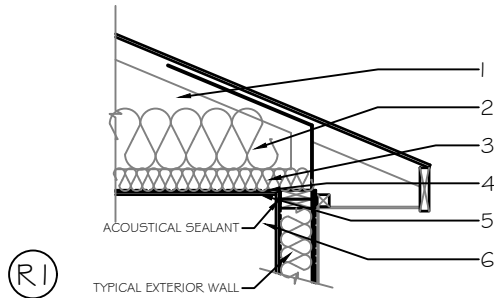


EXTERIOR WALLS @ 24" O.C.			
		R	RSI
1	OUTSIDE AIR FILM	0.17	0.03
2	CLADDING - VARIES	SEE NOTE	
3	TYVEX BUILDING WRAP	0.00	0.00
4	3/8" O.S.B.	0.51	0.09
5	2x6 STUD @24" O.C. c/w R20 FRICTION FIT INSULATION	14.37	2.53
6	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
7	1/2" DRYWALL	0.45	0.08
8	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		16.18	2.85

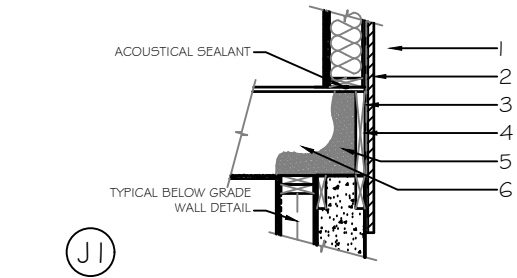


EXTERIOR WALLS @ 12" O.C.			
		R	RSI
1	OUTSIDE AIR FILM	0.17	0.03
2	CLADDING - VARIES	SEE NOTE	
3	TYVEX BUILDING WRAP	0.00	0.00
4	3/8" O.S.B.	0.51	0.09
5	2x6 STUD @ 12" O.C. c/w R20 FRICTION FIT INSULATION	13.51	2.38
6	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
7	1/2" DRYWALL	0.45	0.08
8	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		15.33	2.70

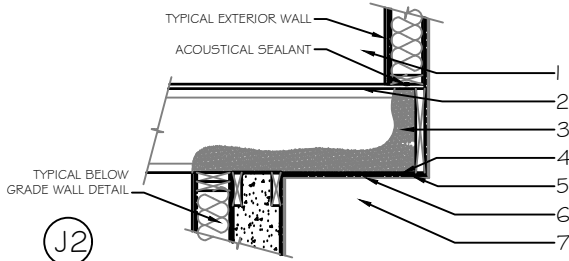
EXTERIOR FINISH NOTE	R	RSI
VINYL SIDING	0.62	0.11
MASONRY	0.40	0.07
CULTURED STONE	0.51	0.09
STUCCO	6.98	1.23
FIBER-CEMENT	0.17	0.03



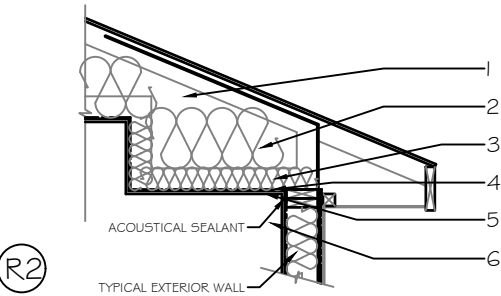
CEILING BELOW ATTIC			
		R	RSI
1	ATTIC AIR FILM	0.62	0.11
2	CONTINUOUS 10.5" LOOSE FILL CELLULOSE INSULATION ABOVE BOTTOM CHORD	37.82	6.66
3	ROOF TRUSSES 2x4 BOTTOM CHORDS @ 24" O.C. c/w LOOSE FILL CELLULOSE INSULATION	11.07	1.95
4	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
5	1/2" DRYWALL	0.45	0.08
6	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		50.65	8.92



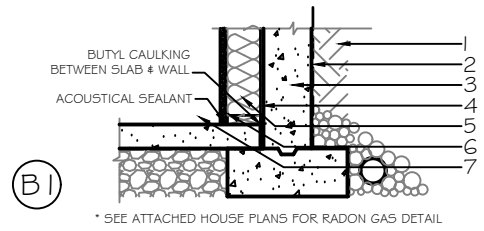
RIM JOIST			
		R	RSI
1	OUTSIDE AIR FILM	0.91	0.16
2	EXTERIOR CLADDING - VARIES	1.25	0.22
3	TYVEX BUILDING WRAP	1.25	0.22
4	RIM JOIST	0.45	0.08
5	3.3" THICK SPRAY POLYURETHANE FOAM (2lb SPRAY)	23.05	4.06
6	INSIDE AIR FILM	0.45	0.08
ENTIRE ASSEMBLY		27.37	4.82



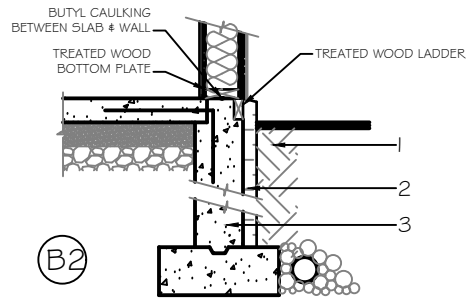
CANTILEVER			
		R	RSI
1	INSIDE AIR FILM	0.68	0.12
2	1/2" O.S.B. SUBFLOOR	1.19	0.21
3	4" THICK SPRAY POLYURETHANE FOAM (2lb SPRAY)	23.39	4.12
4	3/8" O.S.B. SHEATHING	0.62	0.11
5	TYVEX BUILDING WRAP	0.00	0.00
6	SOFFIT	0.00	0.00
7	OUTSIDE AIR FILM	0.17	0.03
ENTIRE ASSEMBLY		26.06	4.59



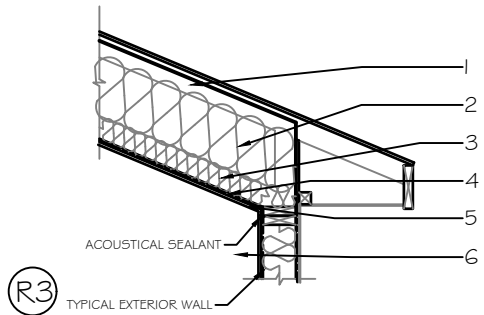
CEILING BELOW ATTIC - RECESSED CEILING			
		R	RSI
1	ATTIC AIR FILM	0.62	0.11
2	CONTINUOUS 10.5" LOOSE FILL CELLULOSE INSULATION ABOVE BOTTOM CHORD	37.82	6.66
3	ROOF TRUSSES 2x4 BOTTOM CHORDS @ 24" O.C. c/w LOOSE FILL CELLULOSE INSULATION	11.07	1.95
4	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
5	1/2" DRYWALL	0.45	0.08
6	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		50.65	8.92



BELOW GRADE FOUNDATION WALLS - 8" WALL			
		R	RSI
1	EARTH	0.00	0.00
2	DAMPROOFING	0.00	0.00
3	8" CONCRETE WALL	0.45	0.08
4	1/2" AIR SPACE	0.00	0.00
5	2x6 STUD @ 24" O.C. c/w R12 FRICTION FIT INSULATION	8.80	1.55
6	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
7	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		9.94	1.75



FROST WALL @ WALKOUT			
		R	RSI
1	EARTH	0.00	0.00
2	8" CONCRETE WALL	0.45	0.08
3	2" RIGID INSULATION	12.09	2.13
ENTIRE ASSEMBLY		12.55	2.21



CEILING BELOW ATTIC - CATHEDRAL CEILING			
		R	RSI
1	ATTIC AIR FILM	0.62	0.11
2	R20 GLASS FIBRE FRICTION FIT INSULATION	19.99	3.52
3	ROOF TRUSSES 2x4 BOTTOM CHORDS @ 24" O.C. c/w R12 GLASS FIBRE FRICTION FIT INSULATION	9.99	1.76
4	POLY VAPOUR BARRIER/AIR BARRIER	0.00	0.00
5	1/2" DRYWALL	0.45	0.08
6	INSIDE AIR FILM	0.68	0.12
ENTIRE ASSEMBLY		31.74	5.59

PROJECT

BBBS LOTTERY HOME

DRAWING

ENERGY DETAILS

LEGAL DESCRIPTION

LOT 5  
BLOCK 5  
PLAN UNREG.  
ERIN RIDGE

DATE

FEBRUARY 18, 2025

DRAWN BY

D.B.

SCALE

N.T.S.

VENETO  
CUSTOM HOMES

Page 25 of 28

REDAN  
DRAFTING + DESIGN

DISCLAIMER

Contractor/Builder shall verify all dimensions, and will notify the designer of any errors or omissions prior to commencement of any work. All drawings are the intruments of Redan Drafting & Design and shall not be use with the permission of Redan Drafting & Design.

PAGE

17



## Development Permit Decision

Application Number: DP072928  
Land Use District: LDR  
Property File Number: 5075.41

**Municipal Address**  
41 ELDRIDGE POINT

**Legal Description**  
PLAN 2422069; BLOCK 5; LOT 5

**Type:** DP SINGLE DETACHED DWELLING - SHOW HOME  
**Proposed Use:** SINGLE DETACHED DWELLING - BASEMENT DEVELOPMENT - ATTACHED GARAGE - DECK

**Applicant:**  
VENETO HOMES  
ST ALBERT AB T8N 3Z8  
#130 44 RIEL DRIVE

**Owner of Land:**  
LANDREX INC.  
206 SUMMIT CENTRE  
200 BOUDREAU RD  
ST ALBERT AB T8N 6B9

**Decision:**  
REFUSED

**Decision Made By:**  
KATHLEEN SHORT

**Conditions**

1. A Development Permit application to construct a new lottery home/raffle home is refused. The maximum lot coverage on this lot is 40%. The house is proposed with a lot coverage of 42.76%. In accordance with Section 2.15(5) of Land Use Bylaw 18/2024 the Development Officer cannot vary lot coverage.

Max lot coverage: 40%

Proposed lot coverage: 42.76%

Variance: 2.76% or 14.44 square meters or 155.43 square feet

Apr 30, 2025  
**Decision Date**

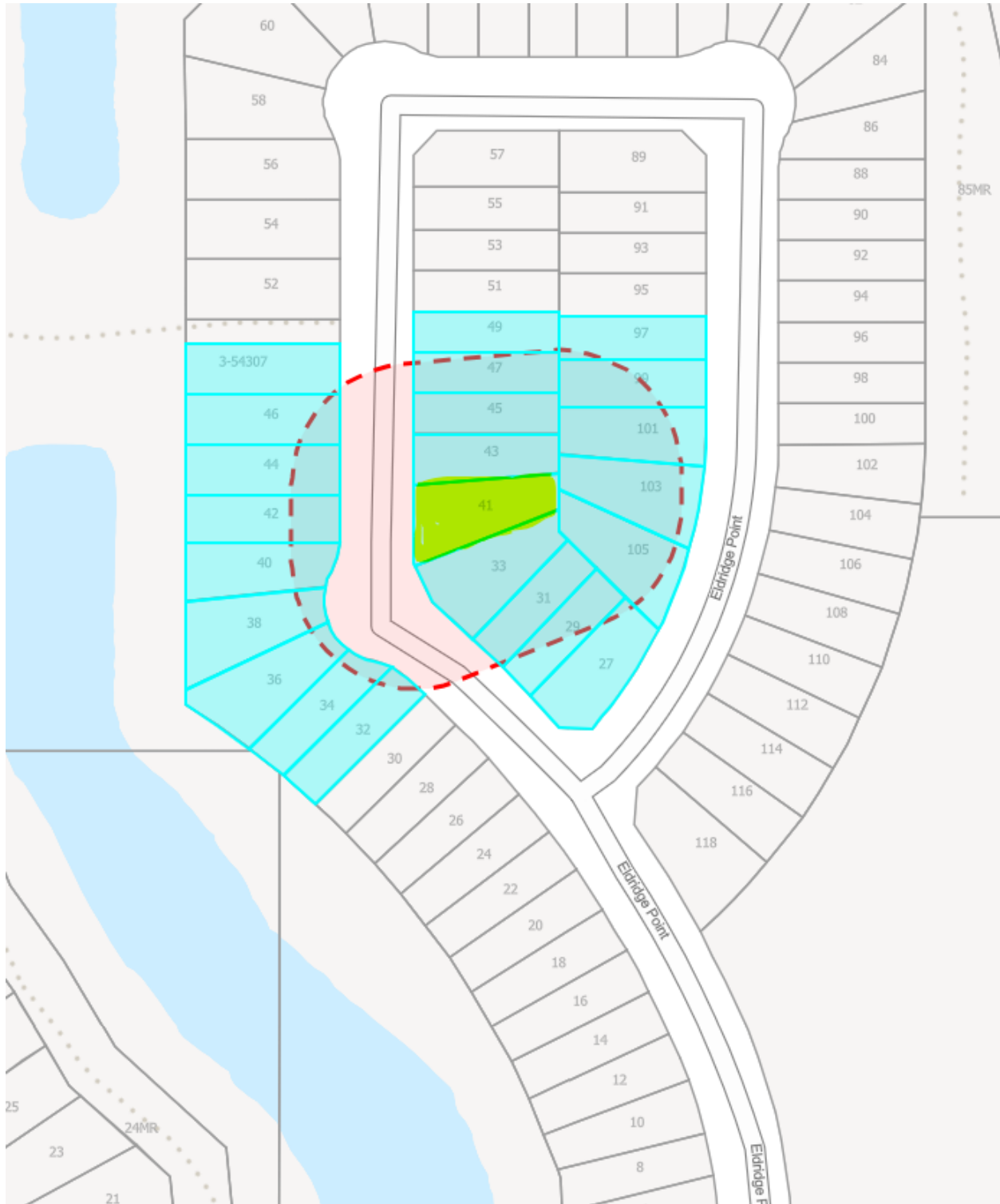
  
**Development Officer**

HEARING DATE: May 14, 2025

41 Eldridge Point, St. Albert, AB

RE: **REFUSED** Development Permit Application to construct a lottery home.

**30M Radius**







**CITY OF ST. ALBERT**

# Subdivision and Development Appeal Board

## 41 Eldridge Point

**Date: May 14, 2025**

**Presented by:**

**Kathleen Short**

**Development Officer I**

*Planning and Development*

# 41 Eldridge Point

Appeal:

Appealing the decision of the Development Officer in refusing a new lottery home (SFD – ‘residential sales centre’ new Land Use Bylaw definition)

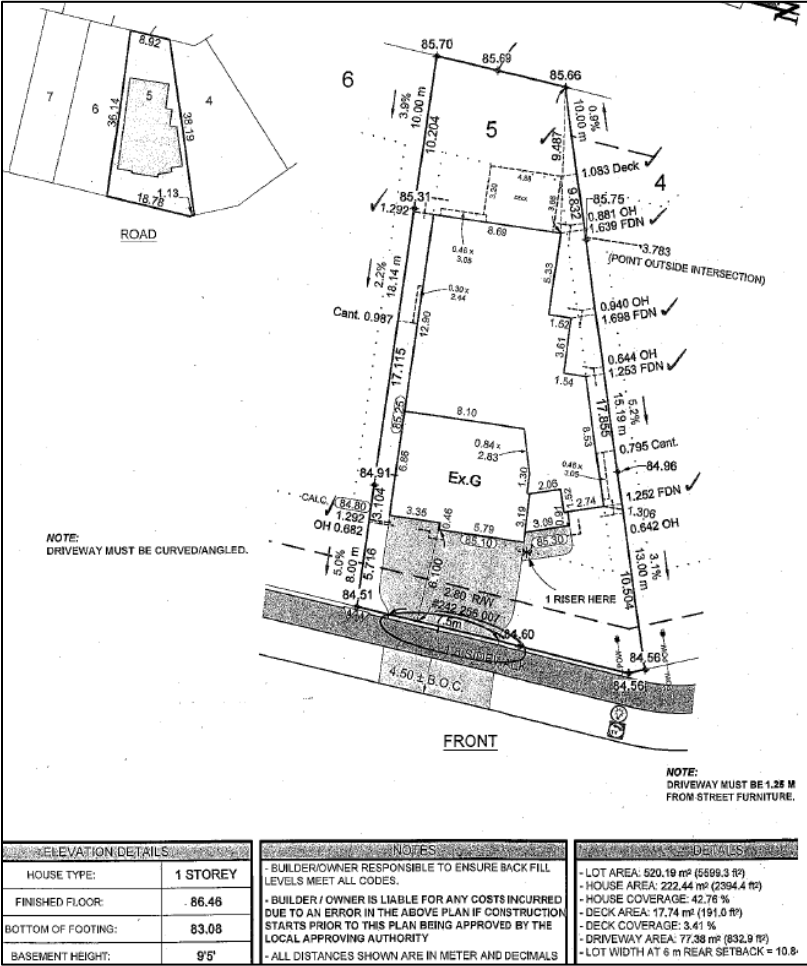
# 41 Eldridge Point

---

- The appellant is appealing the refusal decision of the Development Authority regarding a Development Permit application for a new SFD – Lottery Home. The new Land Use Bylaw categorizes this application as a ‘residential sales centre’, a discretionary use in the Low Density Residential (LDR) land use district in which this lot is located.
- The maximum lot coverage for a single detached dwelling on this lot is 40%.
- The house is proposed with a lot coverage of 42.76%.
- In accordance with Section 2.15(5) of Land Use Bylaw 18/2024, the Development Officer cannot vary lot coverage.
- As a discretionary use the permit, should the Board approve it, is subject to mandatory notification and a 21-day appeal period.



# 41 Eldridge Point



DETAILS	DETAILS
CK FILL	- LOT AREA: 520.19 m <sup>2</sup> (5699.3 ft <sup>2</sup> )
NCURRED	- HOUSE AREA: 222.44 m <sup>2</sup> (2394.4 ft <sup>2</sup> )
TRUCTION	- HOUSE COVERAGE: 42.76 %
BY THE	- DECK AREA: 17.74 m <sup>2</sup> (191.0 ft <sup>2</sup> )
ECIMALS	- DECK COVERAGE: 3.41 %
BE	- DRIVEWAY AREA: 77.38 m <sup>2</sup> (832.9 ft <sup>2</sup> )
	- LOT WIDTH AT 6 m REAR SETBACK = 10.8.

The house meets all other regulations for development on this lot.

# 41 Eldridge Point

End of Presentation

Questions?







# 2025 05 14 SDAB Written Decision & Agenda Pkg

Final Audit Report

2025-05-20

Created:	2025-05-20
By:	Renee McDonald (rmcdonald@stalbert.ca)
Status:	Signed
Transaction ID:	CBJCHBCAABAxAxemWizYuKYA7q9rautzar4GtwkvFXNYh

## "2025 05 14 SDAB Written Decision & Agenda Pkg" History

-  Document created by Renee McDonald (rmcdonald@stalbert.ca)  
2025-05-20 - 5:01:57 PM GMT- IP address: 199.185.226.4
-  Document emailed to justiceclackson@gmail.com for signature  
2025-05-20 - 5:03:19 PM GMT
-  Email viewed by justiceclackson@gmail.com  
2025-05-20 - 5:35:43 PM GMT- IP address: 104.28.116.14
-  Signer justiceclackson@gmail.com entered name at signing as terry clackson  
2025-05-20 - 5:39:05 PM GMT- IP address: 209.89.75.135
-  Document e-signed by terry clackson (justiceclackson@gmail.com)  
Signature Date: 2025-05-20 - 5:39:07 PM GMT - Time Source: server- IP address: 209.89.75.135
-  Agreement completed.  
2025-05-20 - 5:39:07 PM GMT